

Planning & External Works

	Y	N
Demolition of existing house and clearing of site by registered demolisher including demolition permit		X
Planning Permit		X
Building permit fees <i>Note: Only the fee payable for the application of a building permit to the building surveyor will be payable by Pembroke Homes. Any additional consultant fees will be payable by the client for example, structural amendments, footing probe, fire engineers report etc.</i>	X	
Builders indemnity insurance	X	
Contract works and public liability insurance	X	
Council contribution fees/bonds <i>Note: Applications will be arranged by Pembroke Homes, but all associated costs are payable by the Owner</i>		X
PIC charges <i>Note: Applications will be arranged by Pembroke Homes, but all associated costs are payable by the Owner</i>		X
Additional/alteration of new sewer branch if required		X
Stormwater drains in accordance with council approved civil design	X	
Drainage beyond property boundary as per stamped civil engineering design including reinstatement of any damaged concrete and traffic management requirements	X	
Temporary power, fencing and toilet provided by builder	X	
Excavation/site cut (if any) – Allowance: Nil <i>Note: When the cost of soil removal is greater than the allowance above the balance is payable by the owner</i>	X	
Internal fencing	X	
Retaining walls		X
Perimeter fencing		X
Rock removal		X
Electrical connection application from underground pit external to property boundary to meter box and switchboard (single phase) <i>Note: Connection fees as well as any charge for the installation of an electricity pit will be charged to the Owner</i>	X	
Water Tapping including installation of meters <i>Note: Water tapping requirements to be confirmed by water authority. Please also refer to Note 1</i>	X	
Underground telephone conduit with draw string installed from the property boundary to external point of each unit <i>Note: Underground conduit provided will also be suitable for NBN lead in. Telephone line connection after handover including all consumer account opening fees to be paid by client. Please also refer to Note 1</i>	X	
NBN contribution and connection fees		X
Sewer drains and connections to point nominated by relevant authority within the property boundary <i>Note: Please also refer to Note 1</i>	X	
Gas connection based on high pressure gas being available including meters. <i>Note: Connection fees if any payable by the client</i>	X	

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Termite pest control if required by council property information	x	
OH&S Compliance and relevant signage	x	
Note 1: Should service authorities require fees for upgrades or extensions, these costs are to be paid by the client		x
Note 2: A "No Go Zone" permit is required if the site is in close proximity to power lines. If the acting authority deems power shutdowns, line protection or additional forms of compliance are required, the fees associated in doing so are to be paid by the client. Pembroke Homes are unable to determine the costs at the time of quoting, they can only be determined once onsite		x
Note (Tree Protection Zone) 3: Standard construction techniques have been allowed for, in particular opening trenches for slabs and providing services to each townhouse. No allowance has been made for an arborist to attend site prior to or during construction. Should an arborist be required to attend site to ensure works within tree protection zones are carried out in line with the planning permit then costs shall be incurred by the client		x

Foundations & Concreting

Slab on ground: As per soil test and engineers design up to P Class – Allowance \$65,000	x	
Note: Should a situation arise where excess concrete over and above the allowance is required, Pembroke Homes will contact the owner prior to the placement of concrete, and this will be charged at \$300 per cubic meter	x	
Note: Should any revisions to engineering and subsequently to the building permit be required as a result of improving the design and structural integrity, such costs will be paid by the client		x

Frame Construction

Conventional stick build or prefabricated wall framing	x	
Prefabricated floor and roof trusses	x	
Compliance with AS 1684-Residential timber framed construction	x	
Compliance with endorsed town planning & working drawings	x	
Compliance with endorsed engineering design/plans	x	

Windows

Aluminium framed windows in accordance with plans and elevations. <i>Note: Windows and doors will be nearest standard size to the nominated sizes on the architectural plans.</i> Colour: Refer to colour schedule Glass: Refer to plans & energy report	x	
Obscure glass: As indicated on plan	x	
Flyscreens & security doors		x

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External Cladding

Face brickwork \$1,150 per 1,000 allowance		x
25mm Boral shaftliner system to partiwall	x	
75mm thick rendered polystyrene/hebel to areas as nominated on elevations	x	
75mm thick rendered polystyrene/hebel with grooves to areas as nominated on elevations	x	
Stria cladding, with painted finish to areas as nominated on town planning approved elevations		x
Matrix cladding, with painted finish to areas as nominated on town planning approved elevations		x
Axon cladding with painted finish to areas as nominated on town planning approved elevations		x
Colourbond metal cladding to comply with town planning requirements as nominated on elevations		x
Porch/Veranda/Eave Lining: Flush jointed cement sheet lining	x	

Roof Cover

Concrete roof tiles: Boral tudor profile or similar Colour: Refer to colour schedule		x
Corrugated, colorbond sheet metal roofing Colour: Refer to colour schedule	x	
Kliplock roofing to all flat roof construction (where required) Colour: Refer to colour schedule	x	
Single sided reflective foil to underside of metal roofing or as required by energy rating report	x	
Metal fascia, downpipes, quad gutters, rain heads and box gutters Downpipes: 100x50mm rectangular, colorbond Charged downpipes: 90mm diameter round PVC (where required)	x	

External Doors

Front Door: Primed solid front door with painted finish as per plan	x	
Front Door: Stained timber solid front door to all units as per plan		x
External Garage Door: Solid core flush panel door to rear of garage Door furniture: Gainsborough governor keyed alike to front door	x	
Door stops: White cushion	x	

Infills

Brickwork over windows		x
Garage infill brickwork		x

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Balconies

Waterproof balconies as per AS3740	x	
Floor tiling (Refer to tiling specifications for allowance)	x	
Glass balustrading to balconies as per town planning requirements	x	
Rendered walls as per town planning requirements	x	
Powdered coated fixed louvre screens as per town planning requirements		x

Insulation

Wall and ceiling insulation as per energy rating report	x	
Acoustic glass wool insulation to Boral Firewall Shaft liner system	x	
Sisalation foil to exterior walls	x	
Weather seals to external doors	x	
Caulking to all external expansion joints including wet areas internally	x	

Plaster

10mm unispan plasterboard to ceiling of each unit (fixed directly to underside of trusses/joists)	x	
10mm RE plasterboard to walls of each unit (excluding wet areas)	x	
10mm aquacheck plasterboard to wet areas	x	
Steel battens to ceiling (only where required)	x	
Square set ceiling line throughout each unit	x	
75mm scotia cornice to garage of each unit		x

Fixing Material

Builders range black internal door handles	x	
Quick-slide flush panel sliding doors (2040mm H) to all built in robes		x
Quick-slide black mirror doors (2040mm H) to all built in robes	x	
2040mm high, flush panel, hinged and cavity sliding doors to ground floor and first floor of each unit	x	
67x18mm square dressed (primed MDF) architraves	x	
67x18mm square dressed (primed MDF) skirting boards	x	
Vic Ash staircase with satin finish	x	
Vic Ash handrail with square profile	x	
Plaster lined dwarf walls (including shadow line on balustrade with painted finish on timber capping) to first floor voids where required. Timber batten feature rail to open staircase where required	x	
Upgrade: glass balustrade		x
Tasmanian oak timber flooring throughout excluding bedrooms and wet areas of each unit – Allowance \$80 p/sqm including installation		x
WPC/SPC Engineered flooring throughout excluding bedrooms and wet areas of each unit – Allowance \$50 p/sqm	x	

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Shelving

Robes: single fixed white melamine shelf with chrome hanging rail to all built in robes	x	
Linen: 4 fixed melamine shelves to linen	x	
Pantry: 4 fixed melamine shelves	x	

Water Proofing

Waterproof shower enclosures to bathroom and ensuite	x	
Seal floor & wall junctions to bathroom and ensuite	x	
Waterproof all wet areas including floor & walls as per AS3740	x	

Wall & Floor Tiling

Wall tiling standard, 500mm to bath, 1800mm to shower, 300mm to vanity including 100mm skirting tiles		x
Wall tiling upgrade: floor to ceiling in bathrooms and ensuites	x	
Floor tiling only to laundry and powder rooms of each unit including 100mm high skirting tiles	x	
Wall tiling 600mm to laundry splashback	x	
300mm high skirting tiles in garages where the internal walls are plastered	x	
Front porch/external tiling (if required)	x	
Note: Allowance for supply of tiles is \$25 per m2	x	

Painting

2 coat paint system as per Pembroke Homes standard painting specifications	x	
Ceiling: Wattyl, flat ceiling white	x	
Walls: Wattyl, chalk dust	x	
Skirtings, Architraves & Internal Doors: Wattyl, chalk dust matt finish	x	

Bathroom/Laundry

Laminate vanities as per internal elevations with 40mm thick 'Ambassador Stone' (from builders range) to bathroom, ensuite, and laundry cabinetry. - Laundry cabinetry to include overhead cupboards (where applicable) - Wall hung vanities (where applicable)	x	
Black handles to below bench, 25mm overhang to overheads	x	
Upgrade: Powder coated J scoop handles to below bench, 25mm overhang to overheads		x
Ceramic bench mounted basins as per builders range	x	
Black mixer, bench mounted as per builders range	x	
Semi-frameless black pivot shower screens to all shower enclosures of each unit	x	
Black hand shower with rail to shower as per builders range	x	
Fibreglass shower bases with round waste outlets to all shower enclosures of each unit		x
Upgrade: Tiled hob shower base with square chrome waste	x	

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Upgrade: Inline tiled shower base with square chrome waste	x	
Upgrade: Tiled shower niche (wall to wall where possible)	x	
Polished edge frameless mirrors over vanity units	x	
Builders range standard toilets suites	x	
White acrylic drop in bath with tiled hob		x
Upgrade: White acrylic freestanding bath	x	
Black wall mounted spout and mixer to bath	x	
Accessories fitted to bathroom, laundry, and toilet Note: 600mm towel rails to bathrooms and ensuites. Towel rails may need to be reduced in length due to space constraints	x	
Top-mount stainless steel laundry trough	x	
Black mixer bench mounted as per builders range	x	

Kitchen

Laminate base and overhead cupboards as per internal elevations with 40mm thick 'Ambassador Stone' or similar (from builders range). - Overhead cabinets to ceiling without bulkhead - Waterfalls (unit 5 only)	x	
Tiled splashback 600mm above bench	x	
Black handles to below bench, 25mm overhang to overhead joinery	x	
Upgrade: Powder coated J scoop handles to below bench, 25mm overhang to overheads		x
Easy clean cutlery trays fitted to draws	x	
Under-mount stainless steel double bowl kitchen sink	x	
Black kitchen mixer bench mounted	x	
600mm stainless steel under bench electric oven (Di Lusso) or similar (unit 1 only)		x
600mm stainless steel gas hot plate/cook top (Di Lusso) or similar (unit 1 only)		x
600mm stainless steel undermount rangehood (Di Lusso) or similar (unit 1 only)		x
900mm stainless steel under bench electric oven (Di Lusso) or similar	x	
900mm stainless steel gas hot plate/cook top (Di Lusso) or similar	x	
900mm stainless steel slide out rangehood (Di Lusso) or similar	x	
600mm stainless steel dishwasher (Di Lusso) or similar	x	
900mm fridge provision	x	

Garage Door

Standard colorbond panel lift garage door including motor with 2 remotes	x	
Upgrade: Timber look colorbond panel lift garage door including motor with 2 remotes		x

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Electrical

LED downlights (white) throughout all units	x	
1 x builders range wall light/s to rear of each unit	x	
Ceiling exhaust to each unit (where required)	x	
Builders range white double internal power points as per plan or where required	x	
Builders range white switches as per plan or where required	x	
1 x builders range external power point to each unit or where required	x	
2 x data points to each unit	x	
2 x TV points including antenna fitted to each unit	x	
Hardwired smoke alarms in accordance with BCA requirements	x	

Heating & Cooling

1 x Builders range inverter split system to living area and each bedroom of all units	x	
Note: The size and capacity of each heating/cooling unit will be determined by the installer prior to installation by calculating the volume of each room. Should an alternative system be required, any changes or cost implications will be discussed on site with the client		x

Carpet

Carpet on standard underlay to first floor, bedrooms, and robes (excluding wet areas) of each unit – Allowance \$110 p/blm inclusive of supply and labour	x	
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Concrete Paving

Coloured concrete paving to driveway as per plan	x	
Upgrade: Aggregate concrete paving to driveway as per plan		x
New vehicle crossing(s) including associated permits	x	
Reinstate/resize existing crossover where required	x	
Remove existing crossover where required	x	
Reinstate footpath bays if damaged where required	x	

Hot Water

Solar hot water panel heating and gas boosted storage tank fitted in accordance with 6-star energy rating requirements		x
Rainwater tank provided to each unit connected to toilet cisterns in lieu of solar heating system. Size of tanks to comply with the civil design as endorsed by the responsible authority	x	
Builders range continuous flow gas hot water system to each unit	x	

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Miscellaneous Items

Window Furnishing: Single roller binds	x	
Landscaping: Hard and soft landscaping including concrete pavers as per town planning requirements	x	
Fold down clothesline to each unit	x	
Timber decking to rear courtyard as per endorsed landscape design		x
Detailed cleaning inside and outside prior to handover	x	
Garden sheds where required to conform with town planning requirements	x	
Freestanding letterbox to each unit	x	
Garden taps at front and rear	x	
Window shrouds/privacy screens as per town planning requirement	x	
Front fence as per endorsed town planning design		x

Signed Client:

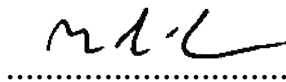


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Signed Builder:



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Date:

06/09/2022
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