

1A TAMAR ST, BUNDOORA

GENERAL NOTES

1. Architectural drawings to be read in conjunction with structural engineer's drawings and computations.
2. All levels relate to Australian datum. Refer to surveyor's drawings.
3. Do not scale drawing, figured dimensions to take preference over scaled sizes.
4. Classification - Residential Class 1.
5. Rise in storey - 1-2 No.
6. Storey's contained - 1-2 No.
7. All glazing to comply to AS1288.
8. All concrete to comply to AS3600.
9. All brickwork to comply to AS3700.
10. All structural timbers to comply to AS1684, and to Victorian timber framing manual.
11. All brick veneer walls (i.e., external) to have double sided reflective foil fixed to external face of studs. Lined internally with 10 mm plasterboard providing min. R1.3. Roof insulation to be double sided reflective foil with 100 mm insulation blanket min. R value R 2.2 or double sided reflective foil with 50 mm blanket with ceiling batts min. R value R 1.5 providing a min. gross sum of R 2.2 or similar and approved by relevant building surveyor.

12. Denotes smoke detector.
Smoke detector to be placed on ceiling as indicated on plan and directly wired to power supply with battery back up.
13. The builder shall be responsible for obtaining all relevant permits and approvals from relevant authorities, including inspections at appropriate stages of construction.
14. Any variations must be approved by the client/ designer prior to proceeding.
15. All Victorian workcare - occupational Health and Safety Division codes of practice are to be complied with.
16. All steps, stairs, landings, handrails and balustrades shall conform with D 2.13 D 2.16 and D 2.7 of the BCA 2014
17. Builder must comply with local Authorities municipal by-laws, Victorian Regulations and the Building Code of Australia.
18. All work shall be carried out in a tradesman like manner and comply with relevant codes and to the satisfaction of the relevant building surveyor.
19. Structural framing, fixing, bracing and supports to be in accordance with relevant Australian standards, codes and good Building Practice.
20. Denotes - 250 mm diameter exhaust fan. Air to be extracted to outside air and to provide fresh air at the rate of 10 m3 per hour.
21. All service pipes to be concealed in internal ducts, stud walls or floor space within external walls.

22. The site shall be adequately fenced off during construction to prevent public access.
23. No part of the building shall project beyond the building line, ie; including moulds, architectural features and the like;
24. The premises shall be treated for termite protection using a chemical barrier in accordance with AS3660,1-2000. Alternatively physical barriers may be adopted, such as ant caps or granitguard, if adopting ant caps ensure there is subfloor clearance of 400mm.
25. Eaves within 900mm (but no closer than 450mm) of the boundary shall be constructed using non combustible materials.
26. Eaves exposed to within 450m of the boundary shall be protected by either a wing wall or corbelled brick wall.
27. Rainwater heads, fascias, gutters, downpipes and the like within 450mm of the boundary shall be constructed of non combustible materials.
28. Flues, chimneys, pipes, domestic fuel tanks, cooling or heating appliances or other services must not be built within 450mm of the boundary.
29. Openings in external walls within 900mm from the side facing the boundary require to be protected, ie; windows shall be fixed, fire rated windows no less than -60/-.
30. Openable windows within 1.7 metre of the finished floor level shall be restricted so that the openings do not permit a 125mm sphere to pass through it, if the fall is greater than 1 metre from the natural ground level.

31. The door to a fully enclosed sanitary compartment shall open outwards, slide or be readily removable from the outside of the compartment, ie removable hinges.
32. N/A
33. Vertical articulation joints shall be provided in straight, continuous walls (having no opening) at not more than 6m centres and located closer than the height of the wall away from corners. Where openings more than 900x900mm occur, then articulation joints are to be reduced to 5m centres and positioned in line with at least one edge of the opening. Furthermore, articulation joints should be provided at or near changes in foundation soil, at deep rebates for service pipes, where walls change in thickness and between new and old brickwork;
34. N/A
35. Smoke detectors shall be a BRK 86 RAI 240v self-contained smoke alarm or the equivalent to be connected to the consumer power mains in accordance with AS 3786;
36. The wall surface of a shower enclosure shall be impervious to water to a height of 1.8m above the floor and immediately adjacent or behind a bath, basin or sink to a height not less than 150mm above the fixture; Waterproofing to wet area to comply with BCA 2014 Clause 3.8.1 requirements.
37. All glazing shall be in accordance with AS 1288-2006 wherein, glazing within 500mm of the floor level shall be 5mm thickened annealed, glazed doors and associated side panels shall be 5.38mm laminated safety glass and bathroom windows within 1.5 of the bath or 500mm from the shower enclosure shall be 3mm toughened safety glass;
38. Stairs (other than spirals) shall be constructed in accordance with the following:
 - a. Risers (R) - Max. 190mm & Min. 115mm;
 - b. Going (G) - Max. 355mm & Min. 240mm;
 - c. where 2R+G - Max. 700mm & Min. 550mm; and
 - d. The minimum unobstructed head height for a stair shall be 2000mm, measured above the nosing of the tread.
39. A landing not less than 750mm wide shall be provided where the sill of a threshold of a doorway opens on to a stair that provides a change in floor level or floor to ground level greater than 3 risers or 570mm.
40. The height of a balustrade shall be no less than 1000mm above the floor level, balcony or landing and 865mm above the nosing of the stair tread. The spacing of balustrades either vertically or horizontally shall not be more than 125mm;
41. To satisfy the thermal insulation, the following R values must be achieved:
 - a. R2.5 bulk insulation to be installed between ceiling joists and lined ceiling; and
 - b. R1.5 bulk insulation between the studs and lined internally;
42. Laundries, bathrooms, ensuites and powder rooms that are not naturally ventilated, shall be provided with mechanical ventilation in accordance with AS1668.2;
43. The storm water discharge shall be connected to the existing legal point of discharge;
44. The ground beneath the suspended floor must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building. Alternatively, agricultural pipes shall be provided beneath the building to drain ponding surface water. Surface water must be diverted away from a slab-on-ground, so that the adjacent external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than 50mm over the first 1m from the building;

ENERGY REPORT NOTE

BUILDING MATERIALS GLAZING GENERAL ASSUMPTIONS

ROOF FRAMING

Roof trusses to manufacturer's design & specification.
Provide all documents to relevant building surveyor for approval.

WALL FRAMING

2/90 x 45 f5 pine top plates.
90 x 45 MGP 10 pine bottom plates.
90 x 45 MGP 10 pine studs to all external walls.
90 x 45 MGP 10 pine studs at 450 cts.
90 x 45 MGP 10 pine studs at 450 cts to all load bearing walls.
90 x 45 MGP 10 pine window & door jambs.
70 x 45 MGP 10 pine noggins.
Provide metal angle bracing to all walls.
Provide 10mm plasterboard lining to all walls.
Provide plywood bracing where required.

LOADBEARING LINTEL SCHEDULE

- 900mm to 1500mm 200 x 50 f8 obhw
200 x 50 f7 oregon
190 x 35 f17 kdhw
Provide 2 x 90 x 35 f5 pine end bearing studs.
- 1500mm to 1800mm 250 x 50 f8 obhw
250 x 50 f7 oregon
190 x 45 f17 kdhw
Provide 2 x 90 x 35 f5 pine end bearing studs
- 1800mm to 2700mm 350 x 75 f7 oregon
290 x 45 f17 kdhw
Provide 2 x 90 x 45 f5 pine end bearing studs.

FIRST FLOOR FRAMING

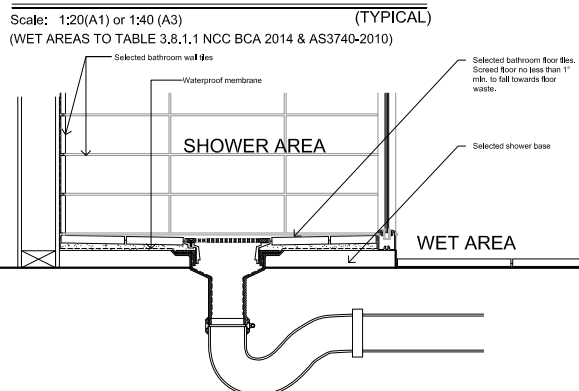
19mm particleboard flooring throughout Floor joists and other members including beams are to specified by an engineer.

BRACING

Bracing and fixing requirements must be provided in accordance with A for a wind speed of 33m/s (NZ-AS 4055), unless the owner's/builder's engineer certifies, in writing, a lower wind classification.

GENERAL ASSUMPTIONS

WET AREA WATERPROOF DETAIL (TYPICAL)



CLASSIFICATION CLASS

Waffle Slab Refer to geotechnical report

ARTICULATION JOINTS

Provide articulation joints in accordance with soil report

STRIP FOOTINGS

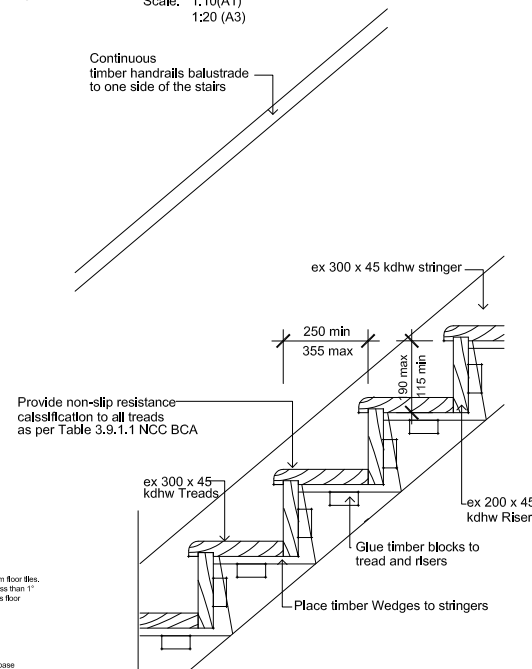
Refer to engineers drawings for sizes and computations

SANITARY COMPARTMENTS (BCA 2014 Part 3.8.3.3)

Door to a fully enclosed sanitary compartment must:
a) Open outwards; or
b) slide; or
c) be readily removable from outside the compartment unless there is a clear space of at least 1.2 m between the closet pan within the sanitary compartment and the nearest part of the door way

TYPICAL STAIR DETAIL

Scale: 1:10(A1)
1:20 (A3)



GENERAL STAIR NOTES

The going and riser height of a flight of Stairs in a stairway shall be constant & the sum of 2 times riser height plus the tread width (2R + G) shall not exceed 700mm Handrails shall be at a minimum height of 865mm above tread nosings or 1000 above adjacent ramps landings & thier floor surfaces.

Where a handrail is not adjacent to a wall provide a bottom rail 125mm max above tread nosings or floor, provide 125mm max clear between rails or balusters. Horizontal rail shall not be placed between 150 & 760 above the floor or tread nosings. The width of a stair (measured clear of handrails and obstructions) shall be constant to a height of 2000 above tread nosings & landings.

TIMBER

Shall have a minimum thickness of 45mm To be not less than f5 stress grade Checking of treads, goings & stringers shall be accurate and not allow movement between members.

NOTE:
Selected timber handrails balustrade stained finish
minimum height of 865mm above nosing of stair treads to 1000mm at the landing

Table 3.9.1.3 SLIP-RESISTANCE CLASSIFICATION Application	Surface conditions	
	Dry	Wet
Ramp not steeper than 1:8	P4 or R10	P5 or R12
Tread surface	P3 or R10	P4 or R11
Nosing or landing edge strip	P3	P4

CLIENT DETAILS : SENOL GROUP PTY LTD

JOB NUMBER : T-0333

SITE ADDRESS : 1A Tamar Street, Bundoora

DRAWING : Notes

APPLICATION : Building Permit

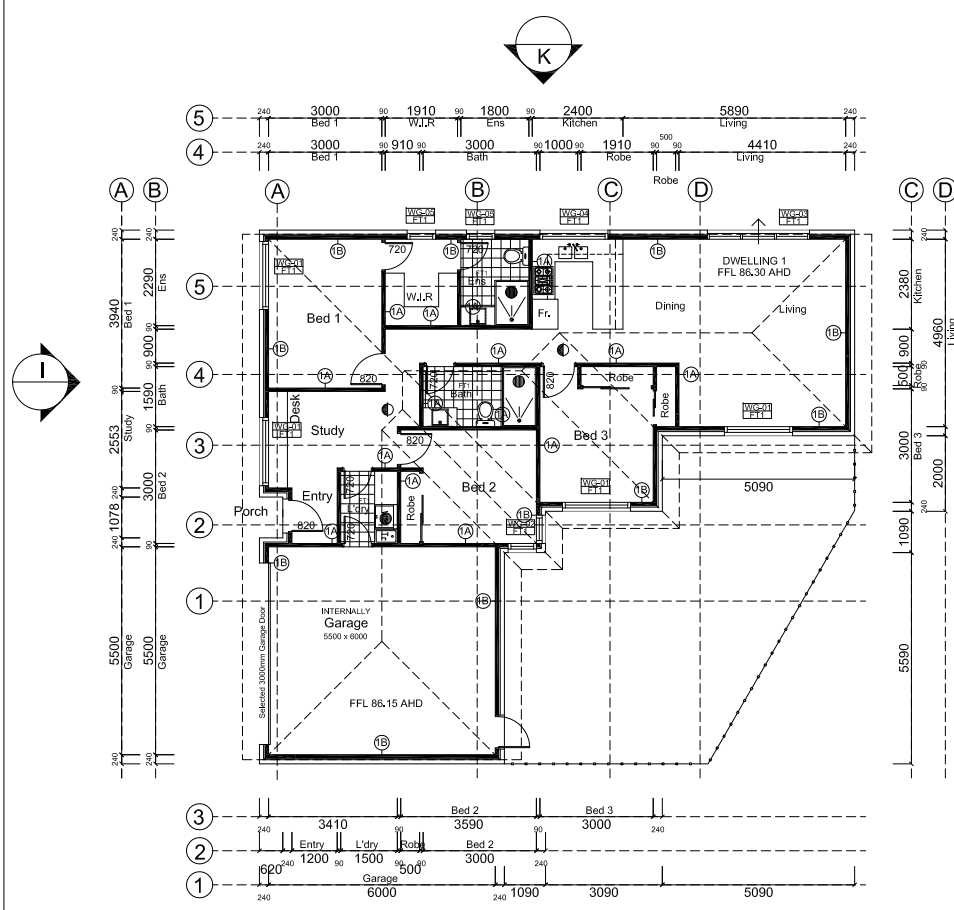
DATE : February 2021

PAGE NUMBER : A01

NORTH POINT :

REVISION : WD - Revision - 4

AMENDMENTS



DWELLING 1 FLOOR PLAN

NOTE
 1:200 @ A3
 1:100 @ A1

ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD

ALL SMOKE DETECTORS IN THE SAME DWELLING MUST BE INTERCONNECTED AND HARDWIRED AS PER AS3786

ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR

NOTE
 1:200 @ A3
 1:100 @ A1

PLIABLE BUILDING MEMBRANE INSTALLED IN EXTERNAL WALLS TO COMPLY WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2

DAMP PROOF COURSE TO BE (MIN) 75mm ABOVE FINISHED PAVING LEVEL IN ACCORDANCE WITH AS 3700

RAINWATER HEADS, FASCIAS, GUTTERS, DOWNPIPES AND THE LIKE WITHIN 450mm OF BOUNDARY SHALL BE NON-COMBUSTIBLE MATERIALS

SITE AREA ANALYSIS

	Ground Floor	Garage	First Floor	Total	P.O.S or Front Space	Balcony	Total
Dwelling 1	113 m ²	38 m ²	N/A	151 m ²	150 m ² + 58 m ² / 83 m ²	N/A	291 m ²

NOTE

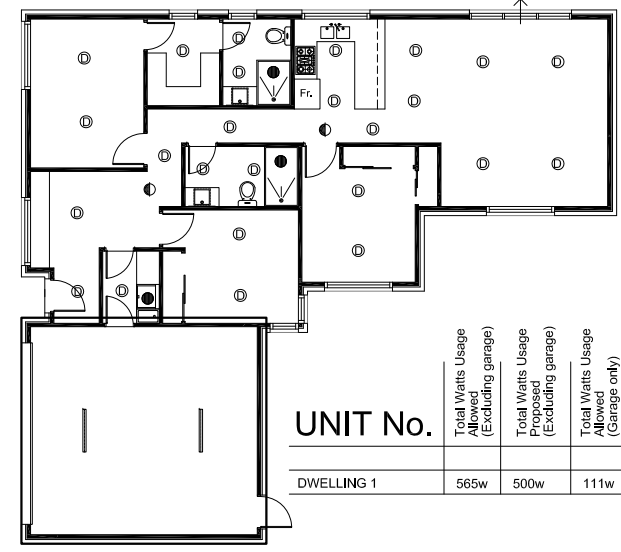
ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD

ALL SMOKE DETECTORS IN THE SAME UNIT TO BE INTERCONNECTED

ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR

FLOW RATE DISCHARGE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.3

VENTILATION TO ROOF SPACE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.4



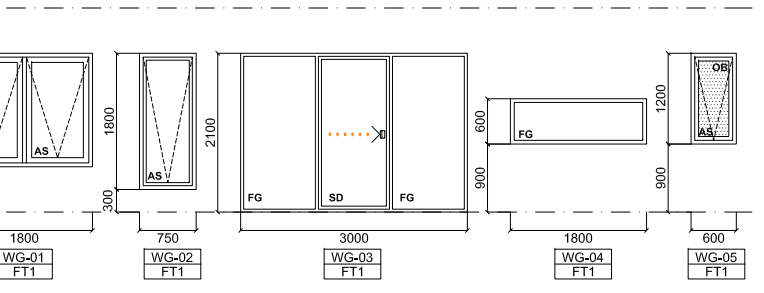
DWELLING 1 LIGHTING PLAN

1:200 @ A3
 1:100 @ A1

SYMBOL	DESCRIPTION
[Symbol]	LIGHT SWITCH
[Symbol]	TWO WAY LIGHTING SWITCH
[Symbol]	LIGHTING SWITCHING/CONTROL WIRING
[Symbol]	MAIN SWITCHBOARD
[Symbol]	DISTRIBUTION SWITCHBOARD
[Symbol]	TELEPHONE OUTLET
[Symbol]	TELEVISION OUTLET
[Symbol]	DOUBLE GPO
[Symbol]	SINGLE GPO
[Symbol]	SINGLE GPO-CEILING MOUNTED
[Symbol]	EXTERNAL DOUBLE GPO
[Symbol]	EXTERNAL LIGHT - WALL MOUNTED
[Symbol]	INCANDESCENT BULB
[Symbol]	HOT WATER STORAGE TANK (IF APPLICABLE)
[Symbol]	DOMESTIC SMOKE ALARM
[Symbol]	FAN LIGHT DUCTED TO EXTERNAL AIR
[Symbol]	RECESSED DOWNLIGHT - 20 Watts
[Symbol]	EXTERIOR WALL LIGHT POINT OUTLET
[Symbol]	FLUORESCENT LIGHT
[Symbol]	ROLLER DOOR MOTOR

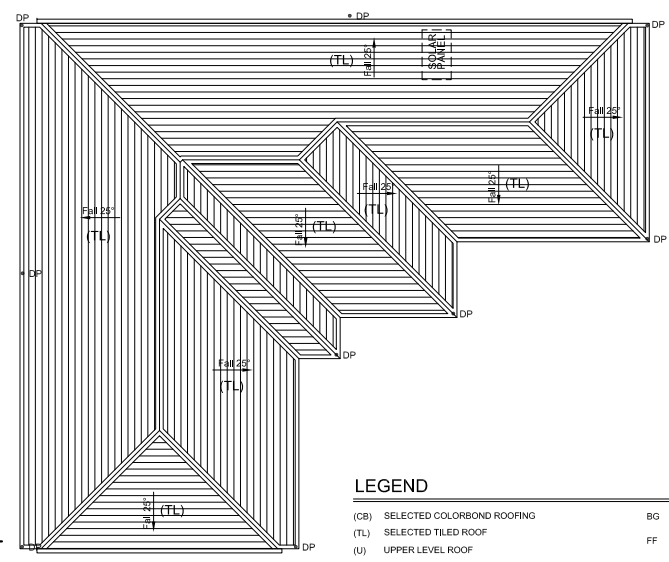
DWELLING 1 ROOF PLAN

1:200 @ A3
 1:100 @ A1



WINDOW SCHEDULE

1:100 @ A3
 1:50 @ A1



LEGEND - WINDOWS

(CB)	SELECTED COLORBOND ROOFING	BG	BOX GUTTER (FORM GRADIENT DIRECT TO DOWNPIPE), PROVIDE LEAVES EATER MESH
(TL)	SELECTED TILED ROOF	FF	ZINCALUME FLASHING GRADE AND DRESS TO GUIDE RAINWATER TO ROOF
(U)	UPPER LEVEL ROOF	RWH	RAINWATER HEAD AS SELECTED (MINIMUM 250X175MM) CONNECT TO ROOF GUTTER. SET TO BOX GUTTER FALL TO RAINWATER HEAD.
(L)	LOWER LEVEL ROOF	SM	SUMP TO SLIT BOX GUTTER (DIRECT TO LOWER ROOF)
CC	CAPPING (FORM CAPPING TO ROOFING AS SPECIFIED)		
EG	SELECTED COLORBOND EAVES GUTTER		
DP	100MM RECTANGULAR DOWNPIPE LOCATION. 150MM DEEP SUMP RAINWATER HEAD INSTALLED WHERE REQUIRED		

GENERAL NOTES

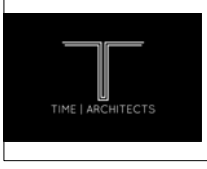
- ROOFING MATERIAL AS SELECTED. ROOF GRADIENT TO BE AT 2% ANGLE. NO GUTTER OR PART OF WALL SHOULD ENCRoACH BEYOND PROPERTY LINE.
- STORMWATER DRAINAGE SYSTEM SHALL BE IN ACCORDANCE TO LOCAL AUTHORITY REQUIREMENTS.
- ALL STORMWATER TO BE DISCHARGE TO LEGAL POINT OF DISCHARGE.
- GUTTER TO BE AS SELECTED IN COLORBOND.
- BOX GUTTER TO BE 1.0MM ZINCALUME STEEL FORMED TO PROFILE TO SUIT ROOF TRIMMER AND FALL. SUPPORT ON TIMBER FRAMING AND 19MM MARINE GRADE PLY GUTTER BOARD SET TO FALL.
- INSTALL CAPPING AND FLASHING IN 0.6MM BMT COLORBOND MATERIAL AS REQUIRED.
- RAINWATER TANK TO BE SELECTED SLIMLINE SERIES WATER TANK. CONNECT WATER TANK TO W/C CISTERN TO MANUFACTURER'S RECOMMENDATIO

LEGEND

FB	Face Brick
HC	Horizontal Cladding - Dark Grey
R1	Rendered Finish - Light Render
R2	Rendered Finish - Dark Render
VC	Vertical Cladding - Dark Render
ED	Entry Door - Dark Grey
CG	Clear Glazing - Dark Aluminium Frame
OG	Obscure Glazing - Up to 1.7m High above FF Dark Aluminium Frame
CB	Clear Glass Balustrade
OB	Obscure Glass Balustrade
PS	Plantation Shutters (Internal) - White
GD	Garage Door - Sectional Grille - Dark Colour
RT	Roof Tile - Dark Colour
MR	Metal Roofing - Dark Colour
FF	Metal Picket/Blade Front Fence - Dark Colour
BF	Timber Palling Boundary Fence

LEGEND - PLAN

CA1	Denotes Carpet	[Symbol]	Denotes Hot water unit	[Symbol]	Denotes Manhole
FB	Denotes Specified Floorboard	[Symbol]	Denotes Switchboard	[Symbol]	Denotes base shower
[Symbol]	Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.	[Symbol]	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	[Symbol]	Denotes Space for Fridge
FT1	Denotes Specified Floor Tiles	[Symbol]	Denotes Specified Ceramic Toilet Suite Pan	[Symbol]	Denotes Specified Dishwasher Under Sink
FT2	Denotes Specified outdoor Floor Tiles	[Symbol]	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	[Symbol]	Denotes Specified Stainless Steel Sink
CF1	Denotes Concrete Floor	[Symbol]	Denotes Specified Smoke Detector	[Symbol]	Denotes 0 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required.
OCB	Denotes Overhead Cupboard	[Symbol]	Denotes 250mm dia Exhaust Fan Ducted to outside air		

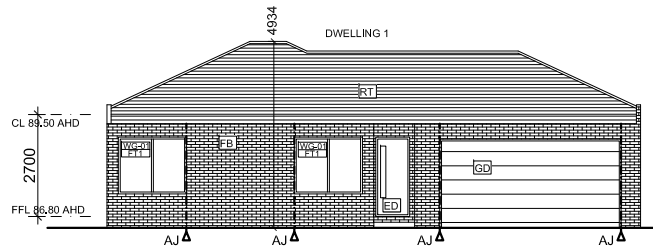


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PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora
 DWELLING 1 DRAWINGS
 SENOL GROUP PTY LTD
 PRELIMINARY TOWN PLANNING CONSTRUCTION TENDER

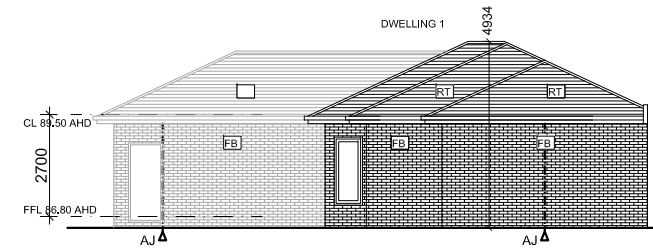
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 PAGE NO. A02
 JOB NO. T-0333

REVISION
 WD-4



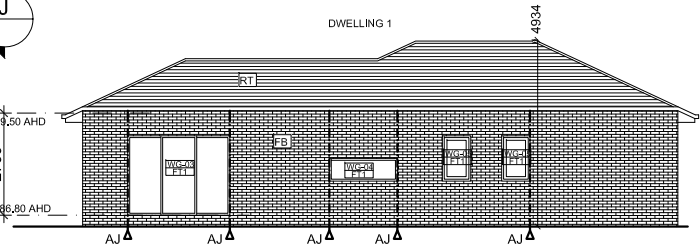
Dwelling 1 - ELEVATION (I)

1:200 @ A3
 1:100 @ A1



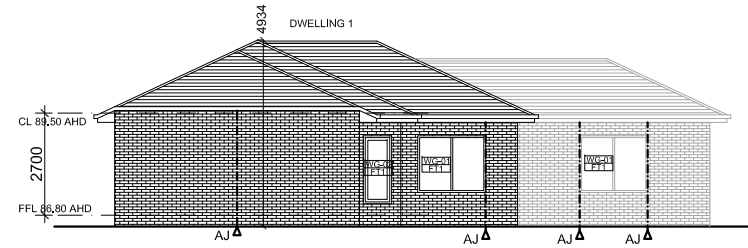
Dwelling 1 - ELEVATION (J)

1:200 @ A3
 1:100 @ A1



Dwelling 1 - ELEVATION (K)

1:200 @ A3
 1:100 @ A1



Dwelling 1 - ELEVATION (L)

1:200 @ A2
 1:100 @ A0

LEGEND - ELEVATIONS

AJ ARTICULATION JOINT
 | WEEPHOLES

NOTES

- PROVIDE 10MM WIDE ARTICULATION JOINT FILLED WITH 75X10MM FORM BACKING STRIP AND CAULKING TO EXTERNAL FACE AS PER BCA STANDARDS.
- PROVIDE CAVITY FLASHING OUT TO WEEPHOLES @ EVERY 4TH BRICK PREPEND OR 1.2METRE CENTRES. PROVIDE GALVANISED LINTEL ABOVE.
- PROVIDE TOP AND BOTTOM WEEPHOLES TO WINDOW AND OPENINGS AS SHOWN.

LEGEND - WINDOWS

WG-00	WINDOW NUMBER FLOOR LEVEL WINDOW (W)
FT1	ALUMINIUM FRAME WITH NATURAL ANODISED FINISH
AS	AWNING SASH
CG	CLEAR GLASS
EQ	EQUAL
FG	FIXED GLAZING
OB	OBSCURE GLAZING
PVT	PIVOT DOOR
TS	SOLID CORE DOOR EXTERNAL GRADE
SC.E	SOLID CORE DOOR EXTERNAL GRADE
HC	SLIDING DOOR
SD	SLIDING DOOR
DR	DOOR

WALL TYPES

TYPE 1A	90 x 45mm pine studs @ 450 cts 10mm plasterboard on both sides.
TYPE 1B	110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm plasterboard insulation as per Energy Report
TYPE 1C	90 x 45mm pine studwall @ 450 cts lined with insulation to achieve a minimum R1.5. Timber weatherboards externally as selected and 10mm plasterboard internally painted as selected.
TYPE 1D	110mm engaged brick piers
TYPE 1E	CSR 2405 FRL60/60/60 Rw + Ctr 52. 25mm shaft liner panel. 90 x 45mm pine double studs @600cts with 10mm SUPERCHEK on both sides 88 Soundscreen 2.5 Insulation
TYPE 1F	CSR 5612 FRL 60/60/60 Rw + Ctr 35. 90 x 45mm pine studwall @ 450 cts 16mm Fyrchek PB externally James Hardie cladding externally 10mm Gyprock Sensitive PB internally painted as selected. 90 Acoustigard R2.0 insulation
TYPE 1G	90 x 45mm pine studwall @ 450 cts James Hardie cladding externally 10mm PB internally painted as selected. Insulation as per Energy report
TYPE 2B	CSR 5403 FRL 60/60/60 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm GYPROCK PLUS plasterboard Insulation as per Energy Report

NOTES

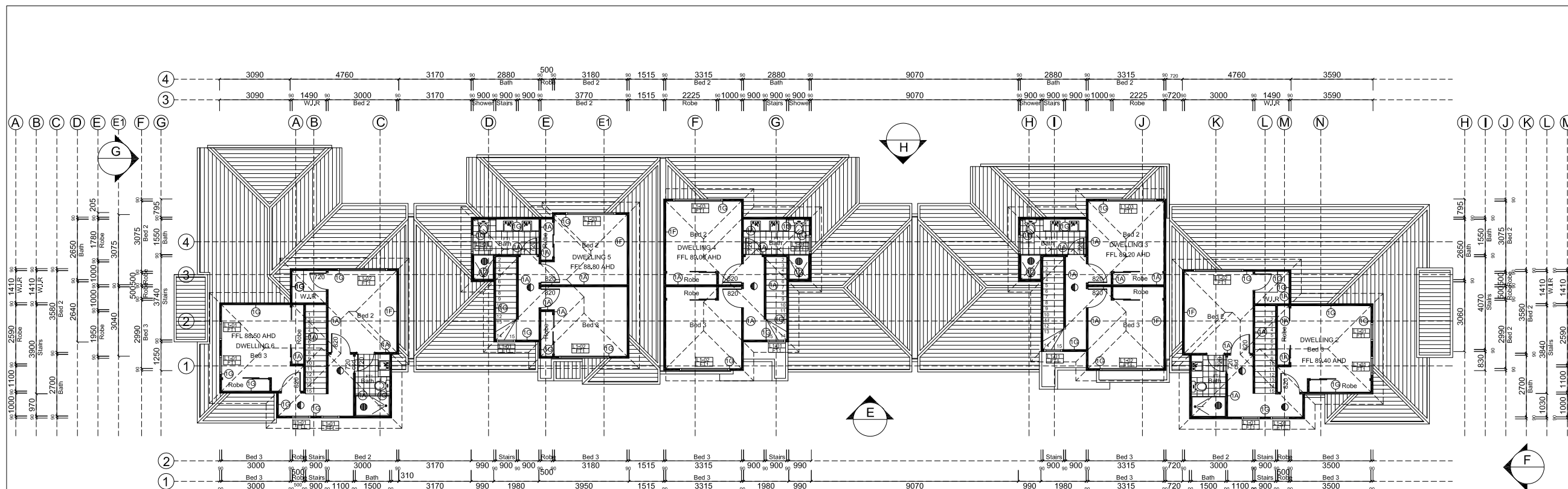
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- PROVIDE CAVITY FLASHING OUT TO WEEPHOLES @ EVERY 4TH BRICK PREPEND OR 1.2METRE CENTRES. PROVIDE GALVANISED LINTEL ABOVE.
- PROVIDE TOP AND BOTTOM WEEPHOLES TO WINDOW AND OPENINGS AS SHOWN.

NOTES - WINDOWS

- ALL WINDOWS, LOUVRE & DOORS ARE TO BE VIEWED EXTERNALLY UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR FABRICATION.
- ALL DIMENSIONS TO STRUCTURAL OPENINGS TO BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION. WINDOW & DOOR PANELS SHALL BE EXQUALLY SPACED UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH AS.1288 AND AS.2047. SAMPLES OF ALL GLASS TO BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURE OF WINDOWS. ALL EXTERNAL GLAZED DOORS TO BE PROVIDED WITH FULL PERIMETER SEAL.
- ALL EXTERNAL HINGED DOORS OPENINGS WINDOWS SASHES TO BE FITTED WITH DRAFT PROOF SEALS. ALL EXHAUST FANS TO BE DUCTED AND SEALED GAPS BETWEEN WINDOW AND DOOR FRAME AND THE BUILDING FABRIC TO BE SEALED
- ALL SUB-SILLS TO HAVE END CPAS AND TO BE SEALED WATER TIGHT.

GENERAL NOTES

- Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.
- Termite treatment in according to AS 3660.2 (2000) and BCA 09
- Gas meter to be min 500mm away from window opening



DWELLING 2-6 FIRST FLOOR PLAN

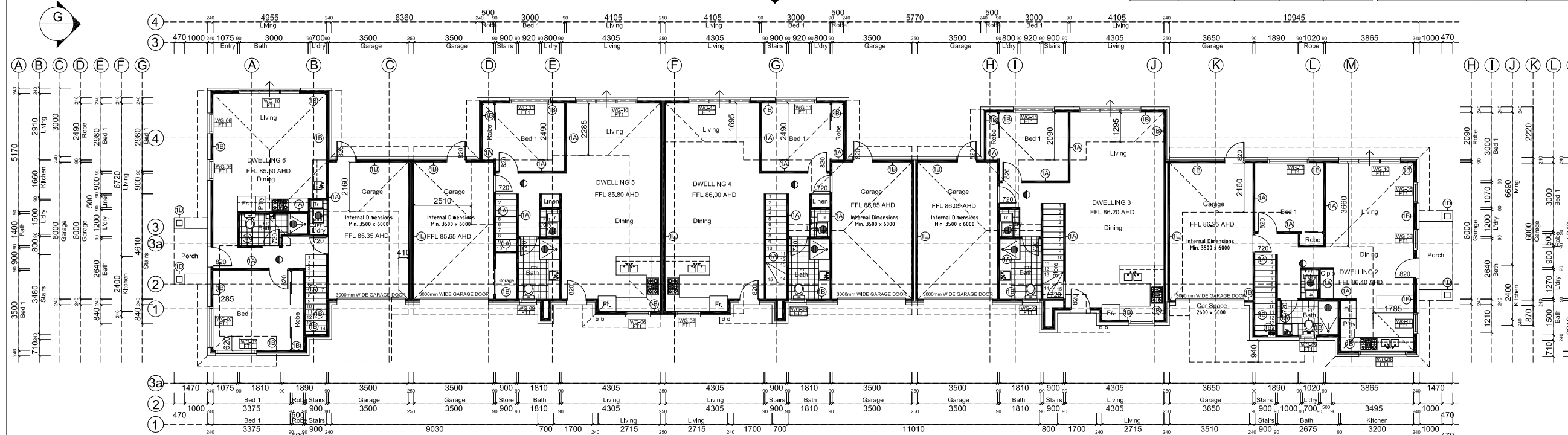
1:200 @ A3
1:100 @ A1

NOTE
EAVES LOCATED WITHIN 450mm OF FUTURE ALLOTMENT BOUNDARY AND WITHIN 900mm OF THE EXTERNAL WALLS OF ADJACENT BUILDING MUST ACHIEVE FRL OF +30/30

NOTE
PROVIDE 35mm THICK SOLID CORE TO ALL ENTRANCE DOORS

SITE AREA ANALYSIS

	Ground Floor	Garage	First Floor	Total	P.O.S or Front Space	Balcony	Total
Dwelling 2	61 m ²	25 m ²	45 m ²	131 m ²	Rear 90 m ² + Front 178m ²	N/A	268 m ²
Dwelling 3	70 m ²	24 m ²	41 m ²	135 m ²	Rear 76 m ² + Front 40 m ²	N/A	116 m ²
Dwelling 4	71 m ²	24 m ²	39 m ²	134m ²	Rear 76 m ² + Front 40 m ²	N/A	116 m ²
Dwelling 5	71 m ²	24 m ²	39 m ²	134 m ²	Rear 79 m ² + Front 40 m ²	N/A	119 m ²
Dwelling 6	62 m ²	24 m ²	43 m ²	129 m ²	Rear 67 m ² + Front 148 m ²	N/A	215 m ²



DWELLING 2-6 GROUND FLOOR PLAN

1:200 @ A3
1:100 @ A1

NOTE
ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD
ALL SMOKE DETECTORS IN THE SAME DWELLING MUST BE INTERCONNECTED AND HARDWIRED AS PER AS3786
ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR

NOTE
PLIABLE BUILDING MEMBRANE INSTALLED IN EXTERNAL WALLS TO COMPLY WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2
DAMP PROOF COURSE TO BE (MIN) 75mm ABOVE FINISHED PAVING LEVEL IN ACCORDANCE WITH AS 3700
RAINWATER HEADS, FASCIAS, GUTTERS, DOWNPIPES AND THE LIKE WITHIN 450mm OF BOUNDARY SHALL BE NON-COMBUSTIBLE MATERIALS

NOTE
ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD
ALL SMOKE DETECTORS IN THE SAME UNIT TO BE INTERCONNECTED
ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR
FLOW RATE DISCHARGE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.3
VENTILATION TO ROOF SPACE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.4

LEGEND - PLAN

CA1	Denotes Carpet	Denotes Hot water unit	Denotes Manhole
FB	Denotes Specified Floorboard	Denotes Switchboard	Denotes base shower
FW	Denotes Specified Floorboard	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	Denotes Space for Fridge
FT1	Denotes Specified Floor Tiles	Denotes Specified Ceramic Toilet Suite Pan	Denotes Specified Dishwasher Under Sink
FT2	Denotes Specified outdoor Floor Tiles	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	Denotes Specified Stainless Steel Sink
CF1	Denotes Concrete Floor	Denotes Specified Smoke Detector	Denotes 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required.
OCB	Denotes Overhead Cupboard	Denotes 250mm dia Exhaust Fan Ducted to outside air	

GENERAL NOTES

Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.
Termite treatment in accordance to AS 3660.2 (2000) and BCA 09
Gas meter to be min 500mm away from window opening

WALL TYPES

TYPE 1A	90 x 45mm pine studs @ 450 cts 10mm plasterboard on both sides.
TYPE 1B	110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm plasterboard insulation as per Energy Report
TYPE 1C	90 x 45mm pine studwall @ 450 cts lined with insulation to achieve a minimum R1.5. Timber weatherboards externally as selected and 10mm plasterboard internally painted as selected.
TYPE 1D	110mm engaged brick piers
TYPE 1E	CSR 2405 FRL60/60/60 Rw + Ctr 52. 25mm shaft liner panel, 90 x 45mm pine double studs @ 600cts with 10mm SUPERCHECK on both sides 88 Soundscreen 2.5 Insulation
TYPE 1F	CSR 5612 FRL 60/60/60 Rw + Ctr 35. 90 x 45mm pine studwall @ 450 cts 16mm Fyrchek PB externally James Hardie cladding externally 10mm Gyprock Sensitive PB internally painted as selected. 90 Acoustgard R2.0 insulation
TYPE 1G	90 x 45mm pine studwall @ 450 cts James Hardie cladding externally 10mm PB internally painted as selected. Insulation as per Energy report
TYPE 2B	CSR 5403 FRL 60/60/60 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm GYPROCK PLUS plasterboard insulation as per Energy Report

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PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

DWELLING 2-6 FLOOR PLANS

SENOL GROUP PTY LTD

REVISION
WD-4

DATE: February 2021
DRAWN: [Name]
SCALE: 1:100 (A1) 1:200 (A3)
PAGE NO: A03
JOB NO: T-0333

NO. DATE. AMENDMENTS

LEGEND: PRELIMINARY, TOWN PLANNING, CONSTRUCTION, TENDER

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PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

DWELLING 2-6 FLOOR PLANS

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PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

DWELLING 2-6 FLOOR PLANS

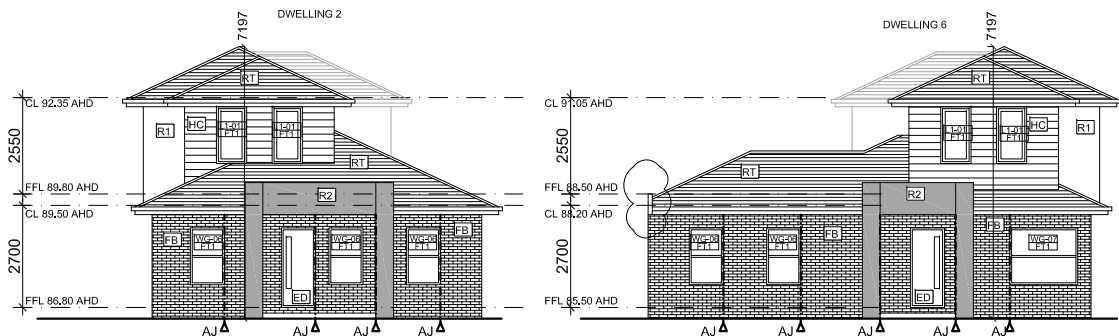
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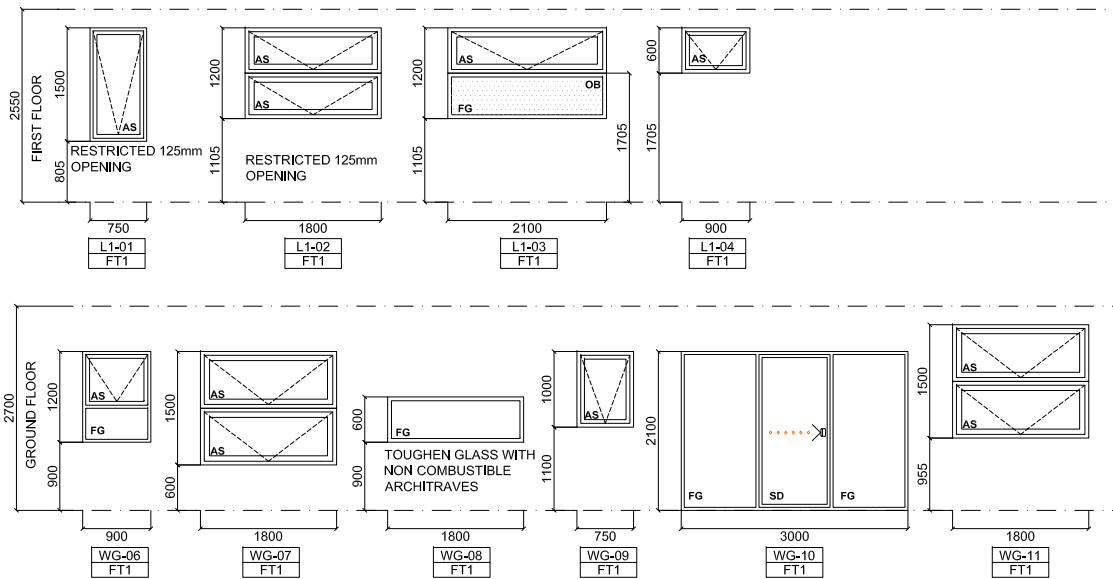


ELEVATION (F)

1:200 @ A3
1:100 @ A1

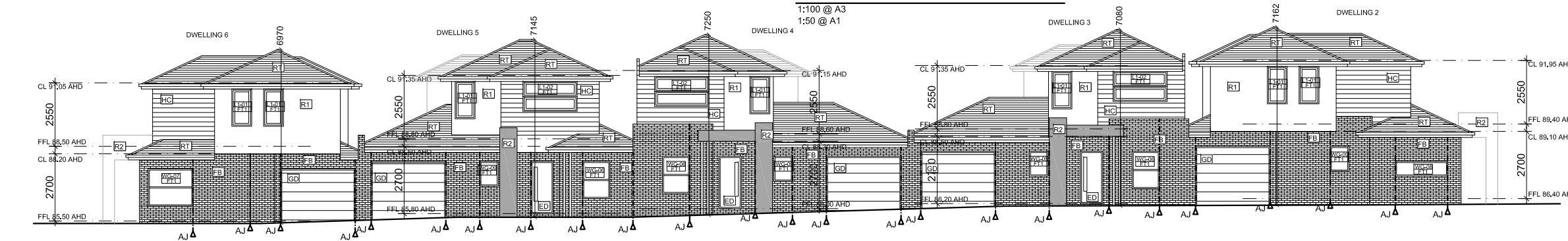
ELEVATION (G)

1:200 @ A3
1:100 @ A1



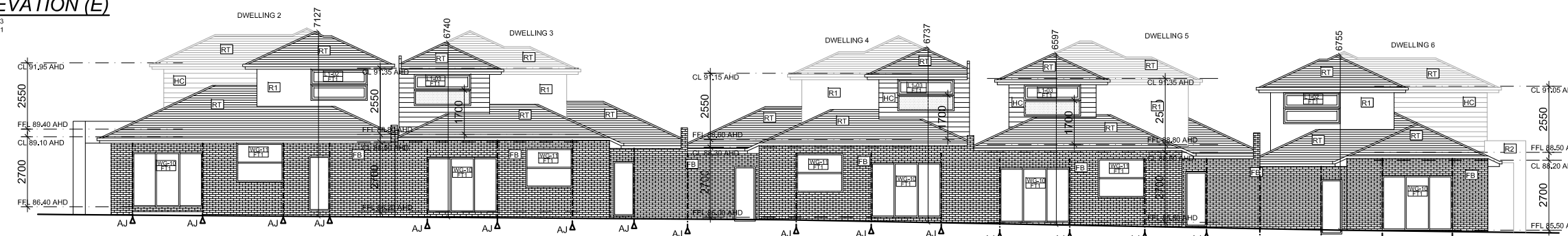
WINDOW SCHEDULE

1:100 @ A3
1:50 @ A1



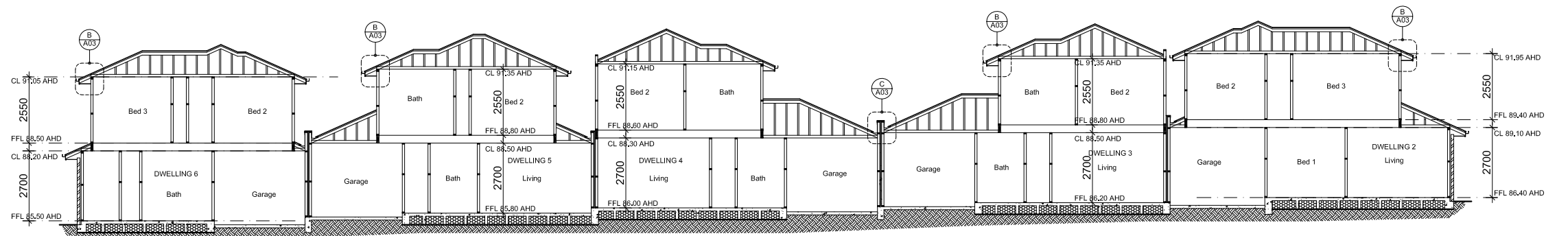
ELEVATION (E)

1:200 @ A3
1:100 @ A1



ELEVATION (H)

1:200 @ A3
1:100 @ A1



Dwelling 2-6 - SECTION X-X

1:200 @ A3
1:100 @ A1

LEGEND

- FB Face Brick
- HC Horizontal Cladding - Dark Grey
- R1 Rendered Finish - Light Render
- R2 Rendered Finish - Dark Render
- VC Vertical Cladding - Dark Render
- ED Entry Door - Dark Grey
- CG Clear Glazing - Dark Aluminium Frame
- OG Obscure Glazing - Up to 1.7m High above FF Dark Aluminium Frame
- CB Clear Glass Balustrade
- OB Obscure Glass Balustrade
- PS Plantation Shutters (Internal) - White
- GD Garage Door - Sectional Grilles - Dark Colour
- RT Roof Tile - Dark Colour
- MR Metal Roofing - Dark Colour
- FF Metal Picket/Blade Front Fence - Dark Colour
- BF Timber Palling Boundary Fence

LEGEND - ELEVATIONS

- AJA ARTICULATION JOINT
- I WEEPHOLES

NOTES

PROVIDE 10MM WIDE ARTICULATION JOINT FILLED WITH 75x10MM FORM BACKING STRIP AND CAULKING TO EXTERNAL FACE AS PER BCA STANDARDS.

PROVIDE CAVITY FLASHING OUT TO WEEPHOLES @ EVERY 4TH BRICK (PREPEND OR 1.2METRE CENTRES. PROVIDE GALVANISED LINTEL ABOVE.

PROVIDE TOP AND BOTTOM WEEPHOLES TO WINDOW AND OPENINGS AS SHOWN.

NOTES - WINDOWS

ALL WINDOWS, LOUVRE & DOORS ARE TO BE VIEWED EXTERNALLY UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR FABRICATION. ALL DIMENSIONS TO STRUCTURAL OPENINGS TO BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION. WINDOW & DOOR PANELS SHALL BE EQUALLY SPACED UNLESS NOTED OTHERWISE.

ALL GLAZING TO COMPLY WITH AS.1288 AND AS.2047. SAMPLES OF ALL GLASS TO BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURE OF WINDOWS. ALL EXTERNAL GLAZED DOORS TO BE PROVIDED WITH FULL PERIMETER SEAL. ALL EXTERNAL HINGED DOORS OPENINGS WINDOWS SASHES TO BE FITTED WITH DRAFT PROOF SEALS. ALL EXHAUST FANS TO BE DUCTED AND SEALED GAPS BETWEEN WINDOW AND DOOR FRAME AND THE BUILDING FABRIC TO BE SEALED. ALL SUB-SILLS TO HAVE END CPAS AND TO BE SEALED WATER TIGHT.

GENERAL NOTES

Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.

Termite treatment in according to AS 3660.2 (2000) and BCA 09

Gas meter to be min 500mm away from window opening

LEGEND - PLAN

- CA1 Denotes Carpet
- FB Denotes Specified Floorboard
- W Denotes Specified Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.
- FT1 Denotes Specified Floor Tiles
- FT2 Denotes Specified outdoor Floor Tiles
- CF1 Denotes Concrete Floor
- OCB Denotes Overhead Cupboard
- HWS Denotes Hot water unit
- Switchboard Denotes Switchboard
- Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out (rangehood above)
- Denotes Specified Ceramic Toilet Suite Pan
- Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above
- Denotes Specified Smoke Detector
- Denotes 250mm dia Exhaust Fan Ducted to outside air
- Denotes Manhole
- Denotes base shower
- Denotes Space for Fridge
- Denotes Specified Dishwasher Under Sink
- Denotes Specified Stainless Steel Sink
- Denotes 100mm Downpipe Locations 150mm Deep Dump Rainwater Head Installed Where Required.

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● DRAWING

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DWELLING 2-6 ELEVATIONS/SECTION WINDOW SCHEDULE

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○ PRELIMINARY ○ TOWN PLANNING ● CONSTRUCTION ○ TENDER

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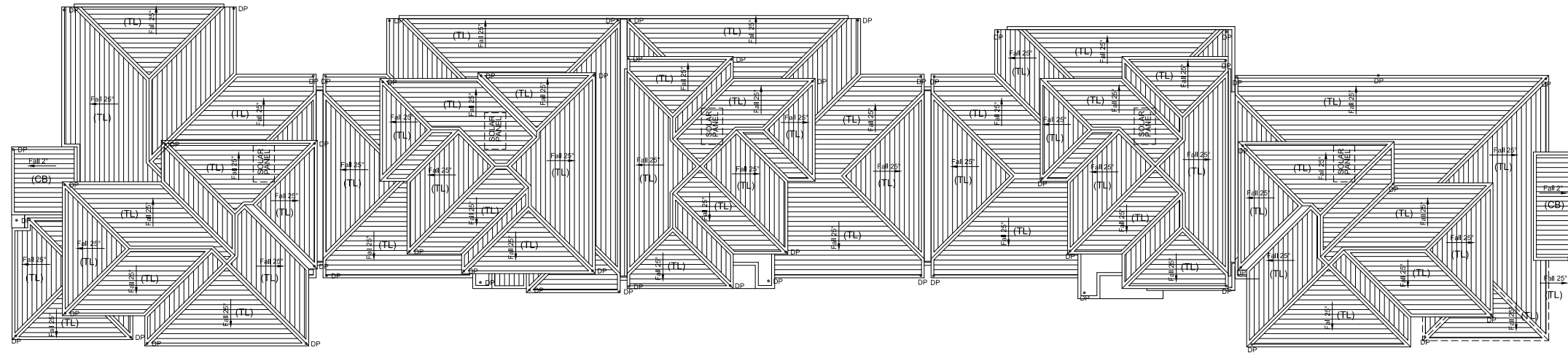
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● JOB NO. T-0333

NO.	DATE.	AMENDMENTS

GENERAL NOTES

1. ROOFING MATERIAL AS SELECTED. ROOF GRADIENT TO BE AT 25° ANGLED. NO GUTTER OR PART OF WALL SHOULD ENCRoACH BEYOND PROPERTY LINE.
2. STORMWATER DRAINAGE SYSTEM SHALL BE IN ACCORDANCE TO LOCAL AUTHORITY REQUIREMENTS.
3. ALL STORMWATER TO BE DISCHARGE TO LEGAL POINT OF DISCHARGE.
4. GUTTER TO BE AS SELECTED IN COLORBOND.
5. BOX GUTTER TO BE 1.0MM ZINCALUME STEEL FORMED TO PROFILE TO SUIT ROOF FRAMING AND FALL. SUPPORT ON TIMBER FRAMING AND 19MM MARINE GRADE PLY GUTTER BOARD SET TO FALL.
6. INSTALL CAPPING AND FLASHING IN 0.6MM BMT COLORBOND MATERIAL AS REQUIRED.
7. RAINWATER TANK TO BE SELECTED SLIMLINE SERIES WATER TANK. CONNECT WATER TANK TO WC CISTERN TO MANUFACTURER'S RECOMMENDATION.

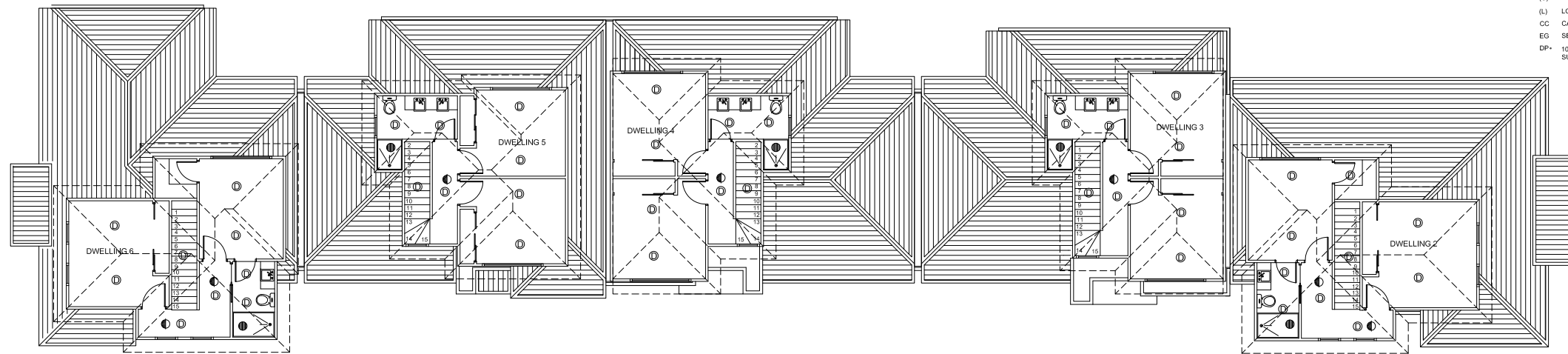


DWELLING 2-6 ROOF PLAN

1:200 @ A3
1:100 @ A1

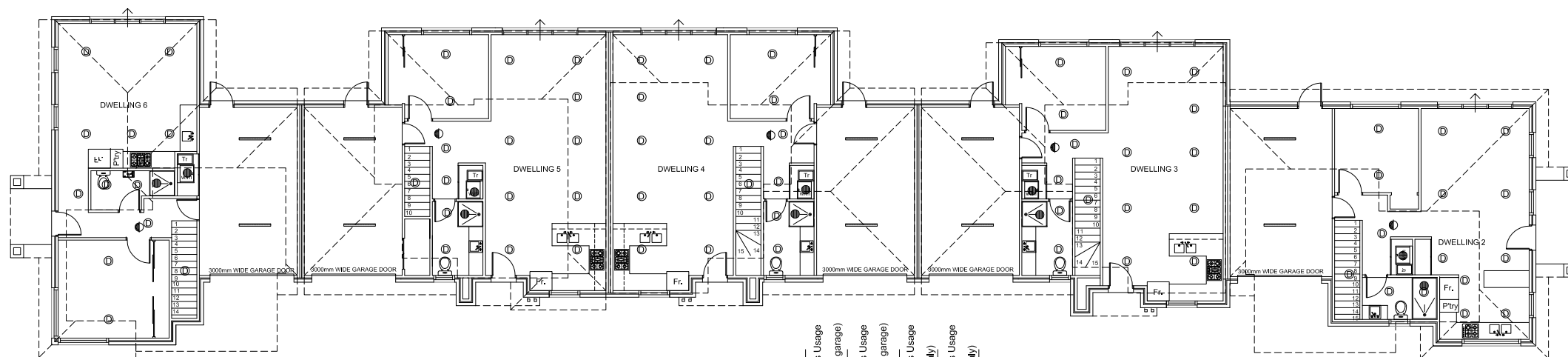
LEGEND

(CB)	SELECTED COLORBOND ROOFING	BG	BOX GUTTER (FORM GRADIENT DIRECT TO DOWNPIPE). PROVIDE LEAVES EATER MESH
(TL)	SELECTED TILED ROOF	FF	ZINCALUME FLASHING GRADE AND DRESS TO GUIDE RAINWATER TO ROOF
(U)	UPPER LEVEL ROOF	RWH	RAINWATER HEAD AS SELECTED (MINIMUM 250x175MM) CONNECT TO ROOF GUTTER. SET TO BOX GUTTER FALL TO RAINWATER HEAD.
(L)	LOWER LEVEL ROOF	EG	SELECTED COLORBOND EAVES GUTTER
CC	CAPPING (FORM CAPPING TO ROOFING AS SPECIFIED)	SM	SUMP TO SUIT BOX GUTTER (DIRECT TO LOWER ROOF)
DP*	100MM RECTANGULAR DOWNPIPE LOCATION. 150MM DEEP SUMP RAINWATER HEAD INSTALLED WHERE REQUIRED		Denotes DIRECTION OF ROOF FALL WITH SPECIFIED GRADIENT



DWELLING 2-6 FIRST FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1



DWELLING 2-6 GROUND FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1

UNIT No.

UNIT No.	Total Watts Usage Allowed (Excluding garage)	Total Watts Usage Proposed (Excluding garage)	Total Watts Usage Allowed (Garage only)	Total Watts Usage Proposed (Garage only)
DWELLING 2	505w	500w	72w	72w
DWELLING 3	550w	500w	72w	72w
DWELLING 4	555w	500w	72w	72w
DWELLING 5	555w	500w	72w	72w
DWELLING 6	525w	440w	72w	72w

LEGEND - PLAN

CA1	Denotes Carpet	HWS	Denotes Hot water unit	M	Denotes Manhole
FB	Denotes Specified Floorboard	Switchboard	Denotes Switchboard	Fr	Denotes base shower
**	Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.	Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	Fr	Denotes Space for Fridge
FT1	Denotes Specified Floor Tiles	Denotes Specified Ceramic Toilet Suite Pan	Denotes Specified Ceramic Toilet Suite Pan	Fr	Denotes Specified Dishwasher Under Sink
FT2	Denotes Specified outdoor Floor Tiles	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	Fr	Denotes Specified Stainless Steel Sink
CF1	Denotes Concrete Floor	Denotes Specified Smoke Detector	Denotes Specified Smoke Detector	DP*	Denotes 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required.
OCB	Denotes Overhead Cupboard	Denotes 250mm dia Exhaust Fan Ducted to outside air	Denotes 250mm dia Exhaust Fan Ducted to outside air		

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DWELLING 2-6 LIGHTING PLANS

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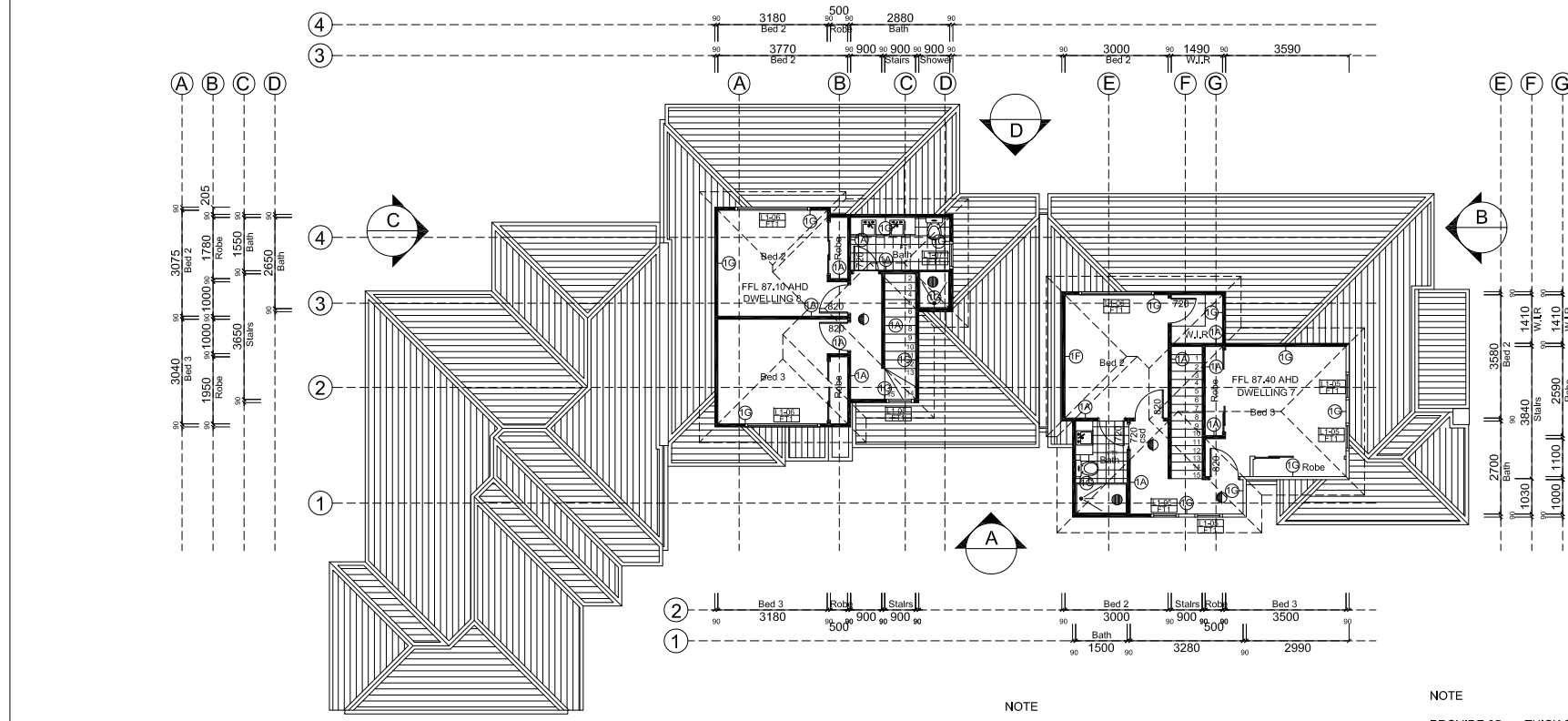
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● PAGE NO. A05
● JOB NO. T-0333

NO. DATE. AMENDMENTS



All dimensions must be verified on site prior to commencement of work or establishment of any shop drawings. Squared dimensions must take precedence over scaled dimensions. All scaled dimensions must be verified on site.



DWELLING 7-9 FIRST FLOOR PLAN

1:200 @ A3
1:100 @ A1

NOTE
EAVES LOCATED WITHIN 450mm OF FUTURE ALLOTMENT BOUNDARY AND WITHIN 900mm OF THE EXTERNAL WALLS OF ADJACENT BUILDING MUST ACHIEVE FRL OF +30/30

NOTE
PROVIDE 35mm THICK SOLID CORE TO ALL ENTRANCE DOORS

NOTE
PLIABLE BUILDING MEMBRANE INSTALLED IN EXTERNAL WALLS TO COMPLY WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2

DAMP PROOF COURSE TO BE (MIN) 75mm ABOVE FINISHED PAVING LEVEL IN ACCORDANCE WITH AS 3700

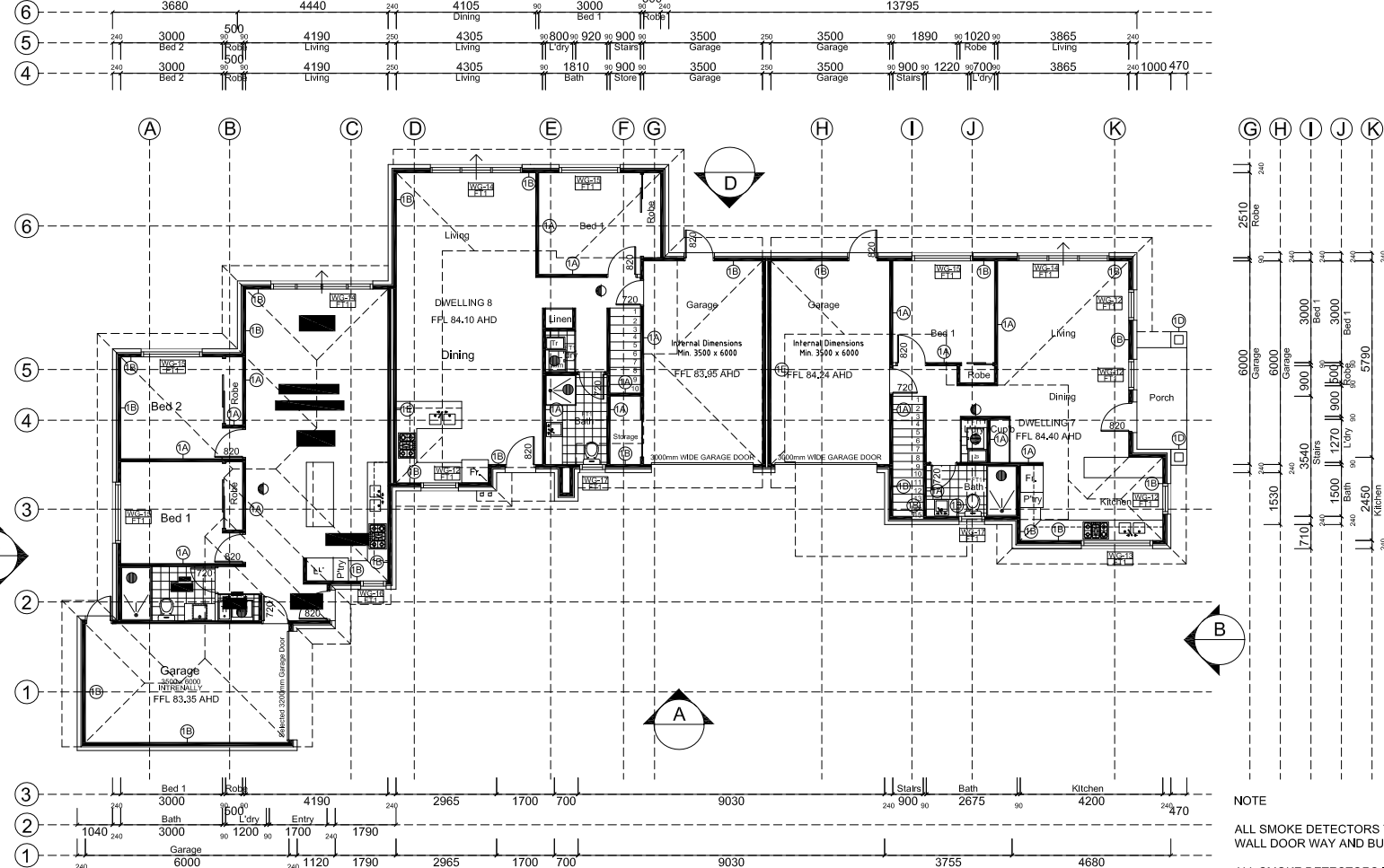
RAINWATER HEADS, FASCIAS, GUTTERS, DOWNPIPES AND THE LIKE WITHIN 450mm OF BOUNDARY SHALL BE NON-COMBUSTIBLE MATERIALS

NOTE
ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD
ALL SMOKE DETECTORS IN THE SAME UNIT TO BE INTERCONNECTED

NOTE
ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR
FLOW RATE DISCHARGE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.3
VENTILATION TO ROOF SPACE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.4

WALL TYPES

- TYPE 1A: 90 x 45mm pine studs @ 450 cts 10mm plasterboard on both sides.
- TYPE 1B: 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm plasterboard insulation as per Energy Report
- TYPE 1C: 90 x 45mm pine studwall @ 450 cts lined with insulation to achieve a minimum R1.5. Timber weatherboards externally as selected and 10mm plasterboard internally painted as selected.
- TYPE 1D: 110mm engaged brick piers
- TYPE 1E: CSR 2405 FRL60/60/60 Rw + Ctr 52. 25mm shaft liner panel, 90 x 45mm pine double studs @600cts with 10mm SUPERCHEK on both sides 88 Soundscreen 2.5 Insulation
- TYPE 1F: CSR 5612 FRL 60/60/60 Rw + Ctr 35. 90 x 45mm pine studwall @ 450 cts 16mm Fyrchek PB externally James Hardie cladding externally 10mm Gyprock Sensitive PB internally painted as selected. 90 Acoustigard R2.0 insulation
- TYPE 1G: 90 x 45mm pine studwall @ 450 cts James Hardie cladding externally 10mm PB internally painted as selected. Insulation as per Energy report
- TYPE 2B: CSR 5403 FRL 60/60/60 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm GYROCK PLUS plasterboard insulation as per Energy Report



DWELLING 7-9 GROUND FLOOR PLAN

1:200 @ A3
1:100 @ A1

NOTE
ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD
ALL SMOKE DETECTORS IN THE SAME DWELLING MUST BE INTERCONNECTED AND HARDWIRED AS PER AS3786
ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR

AREA ANALYSIS						
Dwelling 7	64 m ²	24 m ²	45 m ²	133 m ²	Rear 98 m ² + Front 214m ²	312 m ²
Dwelling 8	69 m ²	26 m ²	39 m ²	134 m ²	Rear 82 m ² + Front 43 m ²	125 m ²
Dwelling 9	74 m ²	25 m ²	N/A	99 m ²	Rear 111 m ² + Front 0 m ²	111 m ²

GENERAL NOTES

Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.

Termite treatment in according to AS 3660.2 (2000) and BCA 09

Gas meter to be min 500mm away from window opening

LEGEND - PLAN

CA1	Denotes Carpet	HWS	Denotes Hot water unit	M	Denotes Manhole
FB	Denotes Specified Floorboard	Plasterboard	Denotes Switchboard	FR	Denotes base shower
**	Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	Denotes Specified Ceramic Toilet Suite Pan	Denotes Space for Fridge	Denotes Specified Dishwasher Under Sink
FT1	Denotes Specified Floor Tiles	Denotes Specified Ceramic Toilet Suite Pan	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	Denotes Specified Stainless Steel Sink	Denotes 100mm Downpipe Locations 150mm Deep Bump Rainwater Head Installed Where Required.
FT2	Denotes Specified outdoor Floor Tiles	Denotes Specified Smoke Detector	Denotes 250mm dia Exhaust Fan Ducted to outside air		
CF1	Denotes Concrete Floor				
OCB	Denotes Overhead Cupboard				



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DWELLING 7-9 FLOOR PLANS
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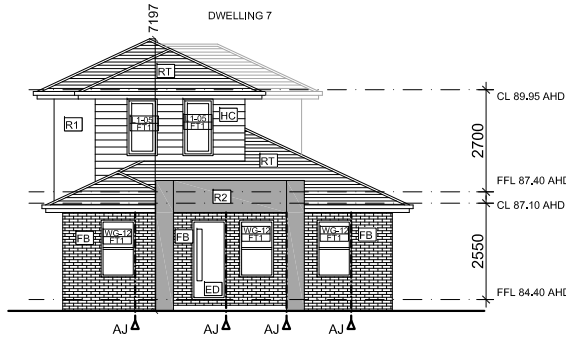
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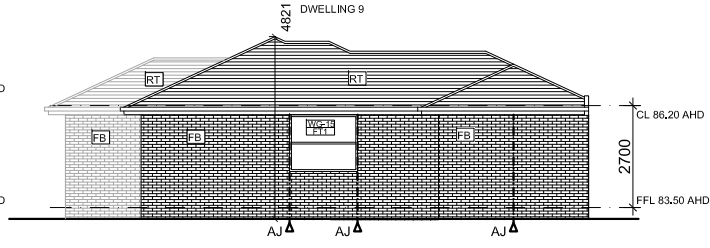
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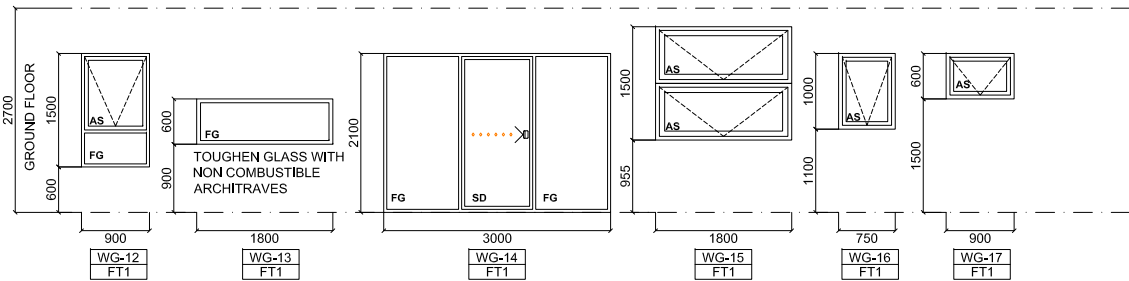
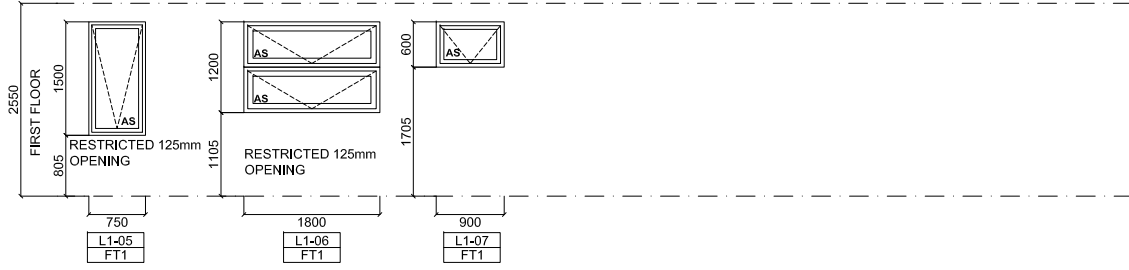
ELEVATION (B)

1:200 @ A3
1:100 @ A1



ELEVATION (C)

1:200 @ A3
1:100 @ A1

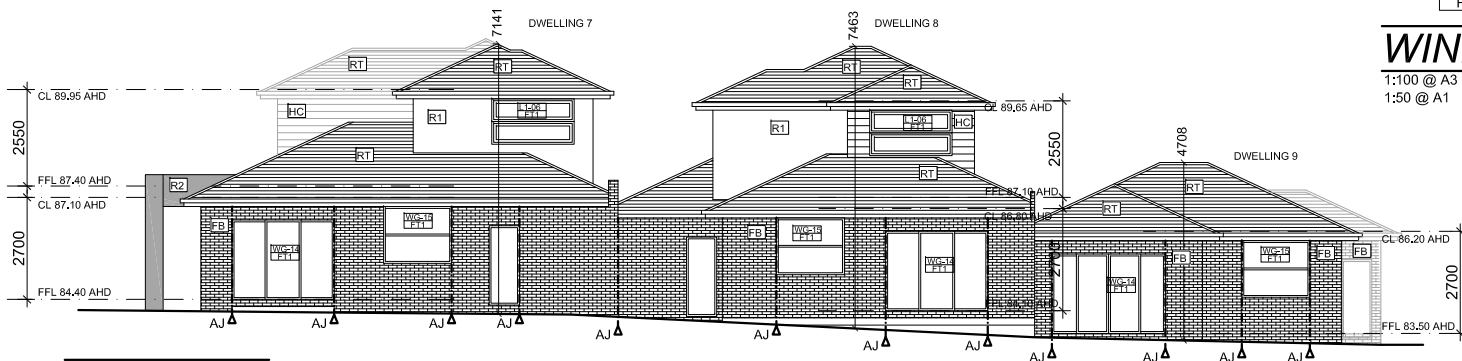


WINDOW SCHEDULE

1:100 @ A3
1:50 @ A1

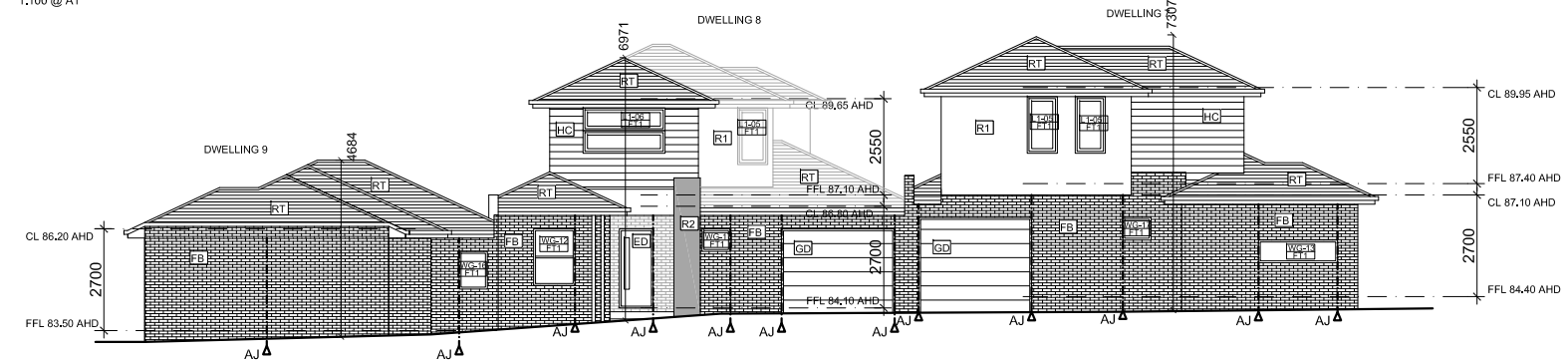
LEGEND

- FB Face Brick
- HC Horizontal Cladding - Dark Grey
- R1 Rendered Finish - Light Render
- R2 Rendered Finish - Dark Render
- VC Vertical Cladding - Dark Render
- ED Entry Door - Dark Grey
- CG Clear Glazing - Dark Aluminium Frame
- OG Obscure Glazing - Up to 1.7m High above FF Dark Aluminium Frame
- CB Clear Glass Balustrade
- OB Obscure Glass Balustrade
- PS Plantation Shutters (Internal) - White
- GD Garage Door - Sectional Grilles - Dark Colour
- RT Roof Tile - Dark Colour
- MR Metal Roofing - Dark Colour
- FF Metal Picket/Blade Front Fence - Dark Colour
- BF Timber Palling Boundary Fence



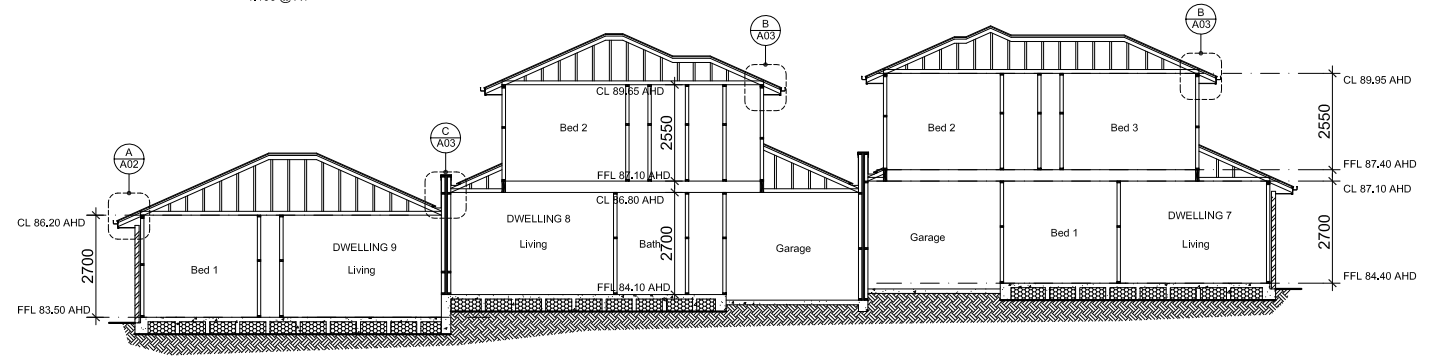
ELEVATION (D)

1:200 @ A3
1:100 @ A1



ELEVATION (A)

1:200 @ A3
1:100 @ A1



Dwelling 7-9 - SECTION X-X

1:200 @ A3
1:100 @ A1

LEGEND - ELEVATIONS

- AJA ARTICULATION JOINT
- I WEEPHOLES

NOTES

PROVIDE 10MM WIDE ARTICULATION JOINT FILLED WITH 75x10MM FORM BACKING STRIP AND CAULKING TO EXTERNAL FACE AS PER BCA STANDARDS.

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ALL EXTERNAL GLAZED DOORS TO BE PROVIDED WITH FULL PERIMETER SEAL.

ALL EXTERNAL HINGED DOORS OPENINGS WINDOWS SASHES TO BE FITTED WITH DRAFT PROOF SEALS.

ALL EXHAUST FANS TO BE DUCTED AND SEALED GAPS BETWEEN WINDOW AND DOOR FRAME AND THE BUILDING FABRIC TO BE SEALED

ALL SUB-SILLS TO HAVE END CPAS AND TO BE SEALED WATER TIGHT.

GENERAL NOTES

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Gas meter to be min 500mm away from window opening

LEGEND - PLAN

CA1	Denotes Carpet	HWU	Denotes Hot water unit	MS	Denotes Manhole
FB	Denotes Specified Floorboard	SW	Denotes Switchboard	FR	Denotes base shower
**	Denotes Ø65mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.	SSC	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	FR	Denotes Space for Fridge
FT1	Denotes Specified Floor Tiles	CTSP	Denotes Specified Ceramic Toilet Suite Pan	UDS	Denotes Specified Dishwasher Under Sink
FT2	Denotes Specified outdoor Floor Tiles	TVS	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	SSS	Denotes Specified Stainless Steel Sink
CF1	Denotes Concrete Floor	SA	Denotes Specified Smoke Detector	DL	Denotes Ø 100mm Downpipe Locations 150mm Deep Dump Rainwater Head Installed Where Required.
OCB	Denotes Overhead Cupboard	DF	Denotes 250mm dia Exhaust Fan Ducted to outside air		



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PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

DRAWING

CLIENT

ISSUED

DWELLING 7-9 ELEVATIONS/SECTION/WINDOW SCHEDULE

SENOL GROUP PTY LTD

- PRELIMINARY
- TOWN PLANNING
- CONSTRUCTION
- TENDER



REVISION

WD-4

DATE February 2021

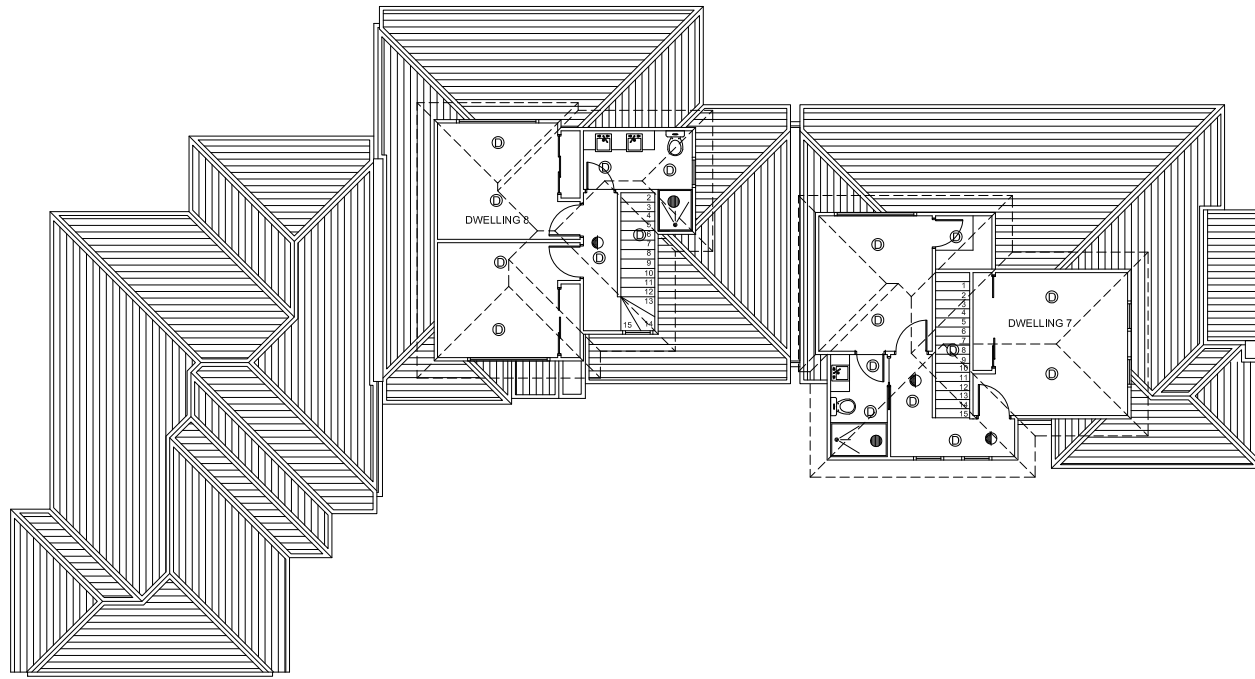
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SCALE 1:100 (A1) 1:200 (A3)

PAGE NO. A07

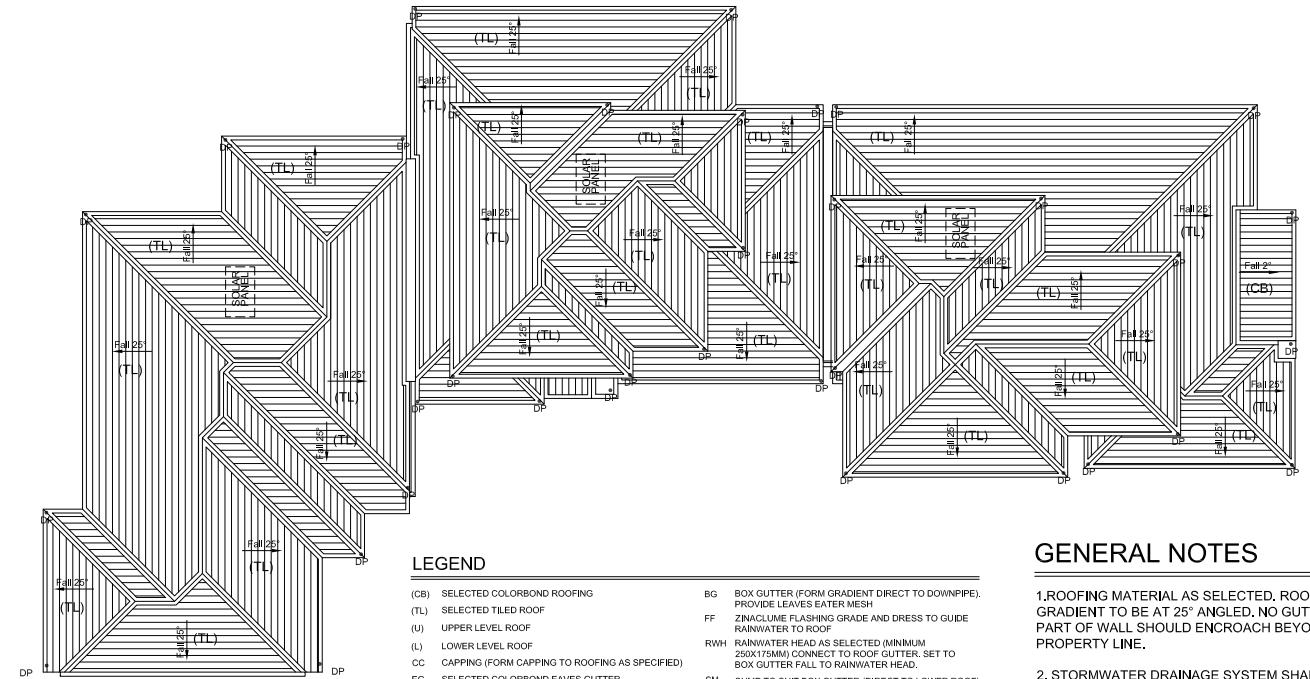
JOB NO. T-0333

NO.	DATE.	AMENDMENTS



DWELLING 7-9 FIRST FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1



DWELLING 7-9 ROOF PLAN

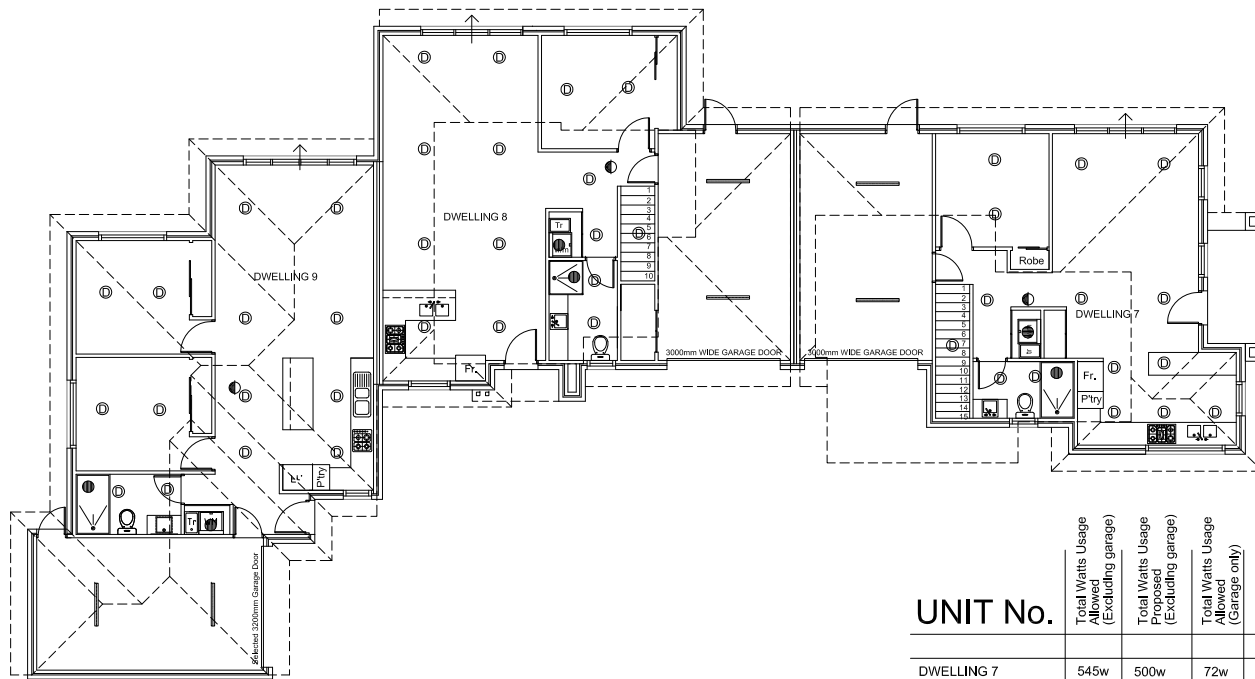
1:200 @ A3
1:100 @ A1

LEGEND

(CB) SELECTED COLORBOND ROOFING	BG BOX GUTTER (FORM GRADIENT DIRECT TO DOWNPIPE). PROVIDE LEAVES EATER MESH
(TL) SELECTED TILED ROOF	FF ZINCALUME FLASHING GRADE AND DRESS TO GUIDE RAINWATER TO ROOF
(U) UPPER LEVEL ROOF	RWH RAINWATER HEAD AS SELECTED (MINIMUM 250X175MM) CONNECT TO ROOF GUTTER. SET TO BOX GUTTER FALL TO RAINWATER HEAD.
(L) LOWER LEVEL ROOF	SM SUMP TO SUIT BOX GUTTER (DIRECT TO LOWER ROOF)
CC CAPPING (FORM CAPPING TO ROOFING AS SPECIFIED)	DP* 100MM RECTANGULAR DOWNPIPE LOCATION. 150MM DEEP SUMP RAINWATER HEAD INSTALLED WHERE REQUIRED
EG SELECTED COLORBOND EAVES GUTTER	DP DENOTES DIRECTION OF ROOF FALL WITH SPECIFIED GRADIENT

GENERAL NOTES

1. ROOFING MATERIAL AS SELECTED. ROOF GRADIENT TO BE AT 25° ANGLED. NO GUTTER OR PART OF WALL SHOULD ENCRUCH BEYOND PROPERTY LINE.
2. STORMWATER DRAINAGE SYSTEM SHALL BE IN ACCORDANCE TO LOCAL AUTHORITY REQUIREMENTS.
3. ALL STORMWATER TO BE DISCHARGE TO LEGAL POINT OF DISCHARGE.
4. GUTTER TO BE AS SELECTED IN COLORBOND.
5. BOX GUTTER TO BE 1.0MM ZINCALUME STEEL FORMED TO PROFILE TO SUIT ROOF FRAMING AND FALL. SUPPORT ON TIMBER FRAMING AND 19MM MARINE GRADE PLY GUTTER BOARD SET TO FALL.
6. INSTALL CAPPING AND FLASHING IN 0.6MM BMT COLORBOND MATERIAL AS REQUIRED.
7. RAINWATER TANK TO BE SELECTED SLM LINE SERIES WATER TANK. CONNECT WATER TANK TO WC CISTERN TO MANUFACTURER'S RECOMMENDATION.



DWELLING 7-9 GROUND FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1

UNIT No.	Total Watts Usage Allowed (Excluding garage)	Total Watts Usage Per Floor (Excluding garage)	Total Watts Usage Allowed (Garage only)	Total Watts Usage Per Floor (Garage only)
DWELLING 7	545w	500w	72w	30w
DWELLING 8	550w	480w	69w	30w
DWELLING 9	375w	280w	72w	30w

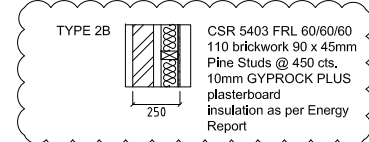
LEGEND - PLAN

CA1 Denotes Carpet	HWS Denotes Hot water unit	Denotes Manhole
FB Denotes Specified Floorboard	Switchboard Denotes Switchboard	Denotes base shower
FW Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with slide out rangehood above)	Denotes Space for Fridge
FT1 Denotes Specified Floor Tiles	Denotes Specified Ceramic Toilet Suite Pan	Denotes Specified Dishwasher Under Sink
FT2 Denotes Specified outdoor Floor Tiles	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	Denotes Specified Stainless Steel Sink
CF1 Denotes Concrete Floor	Denotes Specified Smoke Detector	Denotes 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required.
OCB Denotes Overhead Cupboard	Denotes 250mm dia Exhaust Fan Ducted to outside air	



DWELLING 10-13 FIRST FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1

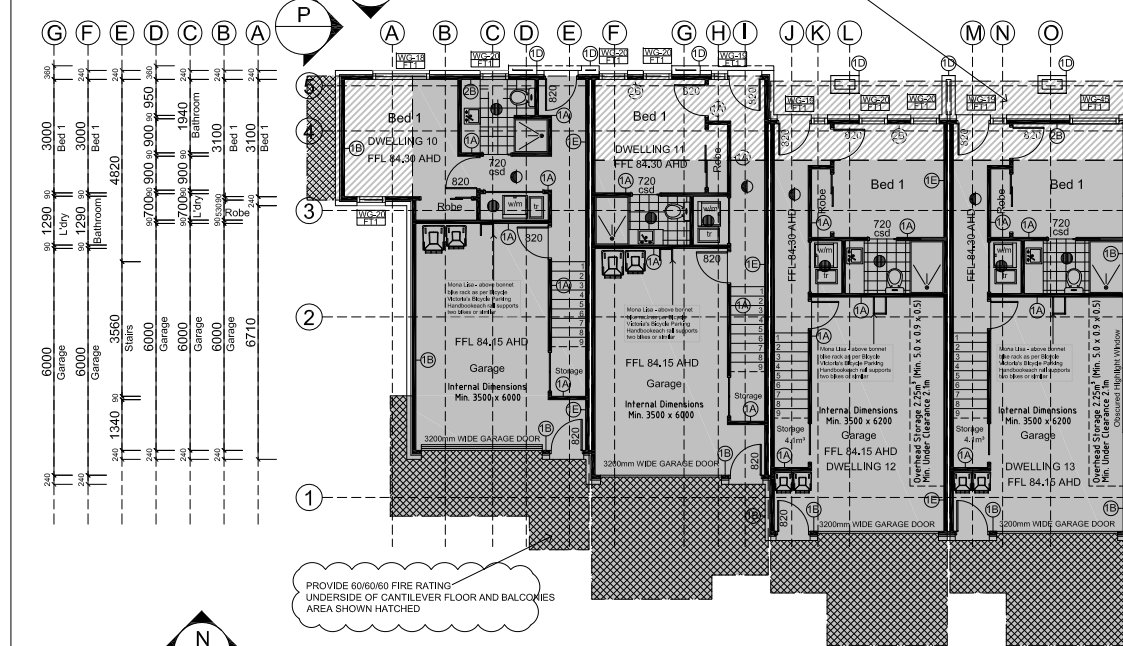


NOTE
ALL EXPOSED COLUMNS AND BEAMS SUPPORTING UPPER FLOOR MUST BE APPLIED WITH INTUMESCENT PAINT TO ACHIEVE FRL OF 60/60/60

NOTE
ALL BALCONY CONSTRUCTION MUST USE NON COMBUSTIBLE MATERIALS

NOTE
PROVIDE 60/60/60 FIRE RATING TO ALL PORCH CEILING AREA SHOWN SHADED. ALL PORCH MUST BE NON COMBUSTIBLE CONSTRUCTION. IF CONSTRUCTED OF TIMBER, MUST BE HARDWOOD SPECIES WITH DENSITY OF 650kg/m³ OR GREATER

NOTE
PROVIDE 35mm THICK SOLID CORE TO ALL ENTRANCE DOORS



DWELLING 10-13 GROUND FLOOR PLAN

1:200 @ A3
1:100 @ A1



TIME| ARCHITECTS

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PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

DRAWING

CLIENT

ISSUED

DWELLING 10-13 FLOOR PLANS

SENOL GROUP PTY LTD

PRELIMINARY TOWN PLANNING CONSTRUCTION TENDER



REVISION

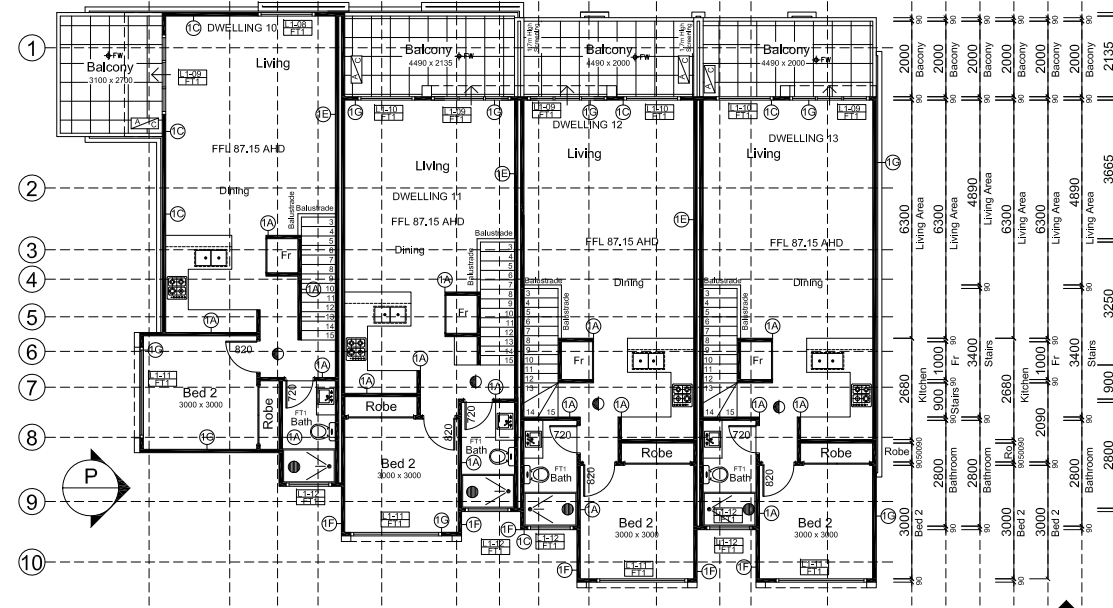
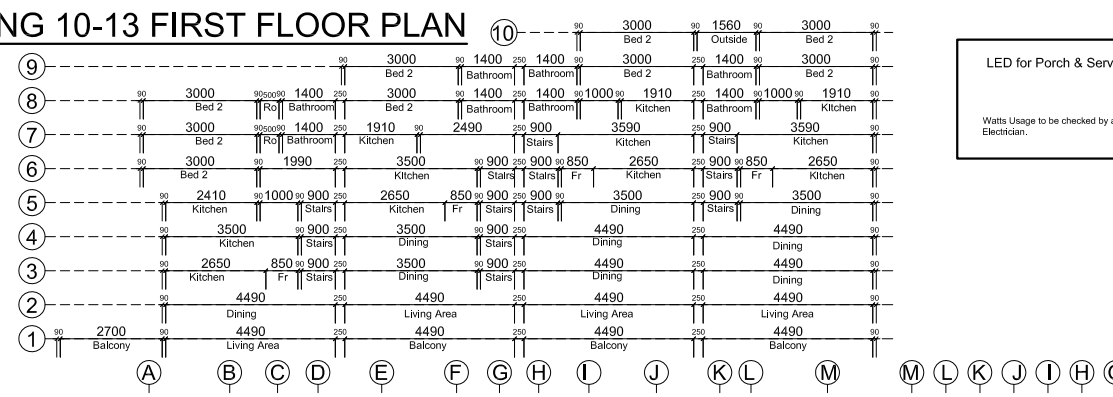
WD-4

DATE: February 2021
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SCALE: 1:100 (A1) 1:200 (A3)
PAGE NO.: A09
JOB NO.: T-0333

NO. DATE. AMENDMENTS

DWELLING 10-13 FIRST FLOOR PLAN

1:200 @ A3
1:100 @ A1



DWELLING 10-13 GROUND FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1

NOTE
ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD
ALL SMOKE DETECTORS IN THE SAME DWELLING MUST BE INTERCONNECTED AND HARDWIRED AS PER AS3786
ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR

AREA ANALYSIS

	Ground Floor	Garage	First Floor	Total	P.O.S or Front Space	Balcony	Total
Dwelling 10	31 m ²	25 m ²	58 m ²	114 m ²	Front 17m ²	9 m ²	26 m ²
Dwelling 11	27 m ²	25 m ²	53 m ²	105 m ²	Front 12 m ²	9 m ²	21 m ²
Dwelling 12	27 m ²	26 m ²	58 m ²	111 m ²	Front 17 m ²	9 m ²	26 m ²
Dwelling 13	28 m ²	27 m ²	58 m ²	113 m ²	Front 18 m ²	9 m ²	27 m ²

	Ground Floor	Total Warts Usage Allowed Ground Floor (Excluding garage)	Total Warts Usage Proposed Ground Floor (Excluding garage)	14 First Floor	Total Warts Usage Allowed (Garage)	Total Warts Usage Proposed (Garage)	Garage Area	Total Warts Usage Allowed (Garage)	Total Warts Usage Proposed (Garage)
DWELLING 10	31 m ² x 5 warts Per 1 Sqm	155w	140w	56 m ² x 3 warts Per 1 Sqm	290 w	280 w	25 m ² x 3 warts Per 1 Sqm	75 w	72 w
DWELLING 11	27 m ² x 5 warts Per 1 Sqm	135w	120w	53 m ² x 3 warts Per 1 Sqm	265 w	260 w	25 m ² x 3 warts Per 1 Sqm	75 w	72 w
DWELLING 12	27 m ² x 5 warts Per 1 Sqm	135w	120w	56 m ² x 3 warts Per 1 Sqm	290 w	280 w	26 m ² x 3 warts Per 1 Sqm	78 w	72 w
DWELLING 13	28 m ² x 5 warts Per 1 Sqm	140w	120w	56 m ² x 3 warts Per 1 Sqm	290 w	280 w	27 m ² x 3 warts Per 1 Sqm	81 w	72 w

NOTE
ALL BALCONY CONSTRUCTION MUST USE NON COMBUSTIBLE MATERIALS

NOTE
PLIABLE BUILDING MEMBRANE INSTALLED IN EXTERNAL WALLS TO COMPLY WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2

DAMP PROOF COURSE TO BE (MIN) 75mm ABOVE FINISHED PAVING LEVEL IN ACCORDANCE WITH AS 3700

RAINWATER HEADS, FASCIAS, GUTTERS, DOWNPIPES AND THE LIKE WITHIN 450mm OF BOUNDARY SHALL BE NON-COMBUSTIBLE MATERIALS

NOTE
ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD
ALL SMOKE DETECTORS IN THE SAME UNIT TO BE INTERCONNECTED

ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR
FLOW RATE DISCHARGE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.3
VENTILATION TO ROOF SPACE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.4

WALL TYPES

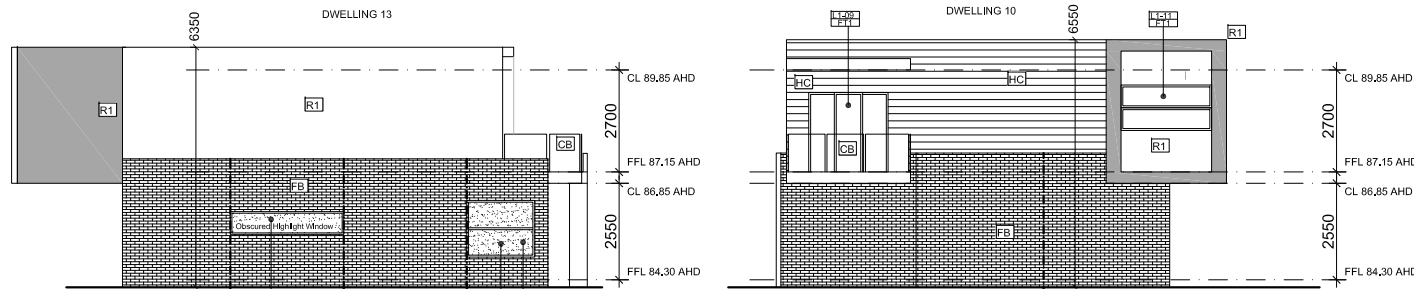
- TYPE 1A: 90 x 45mm pine studs @ 450 cts 10mm plasterboard on both sides.
- TYPE 1B: 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm plasterboard insulation as per Energy Report
- TYPE 1C: 90 x 45mm pine studwall @ 450 cts lined with insulation to achieve a minimum R1.5. Timber weatherboards externally as selected and 10mm plasterboard internally painted as selected.
- TYPE 1D: 110mm engaged brick piers
- TYPE 1E: CSR 2405 FRL60/60/60 Rw + Ctr 52. 25mm shaft liner panel. 90 x 45mm pine double studs @ 600 cts with 10mm SUPERCHEK on both sides 88 Soundscreen 2.5 Insulation
- TYPE 1F: CSR 5612 FRL 60/60/60 Rw + Ctr 35. 90 x 45mm pine studwall @ 450 cts 16mm Fyrchek PB externally James Hardie cladding externally 10mm Gyprock Sensitive PB internally painted as selected. 90 Acoustigard R2.0 insulation
- TYPE 1G: 90 x 45mm pine studwall @ 450 cts James Hardie cladding externally 10mm PB internally painted as selected Insulation as per Energy report
- TYPE 2B: CSR 5403 FRL 60/60/60 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm GYPROCK PLUS plasterboard insulation as per Energy Report

GENERAL NOTES

Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.
Termite treatment in according to AS 3660.2 (2000) and BCA 09
Gas meter to be min 500mm away from window opening

LEGEND - PLAN

CA1	Denotes Carpet	HWS	Denotes Hot water unit	M	Denotes Manhole
FB	Denotes Specified Floorboard	Switchboard	Denotes Switchboard	Fr	Denotes base shower
FW	Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.	SS	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	FR	Denotes Space for Fridge
FT1	Denotes Specified Floor Tiles	TS	Denotes Specified Ceramic Toilet Suite Pan	FR	Denotes Specified Dishwasher Under Sink
FT2	Denotes Specified outdoor Floor Tiles	TV	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	FR	Denotes Specified Stainless Steel Sink
CF1	Denotes Concrete Floor	SD	Denotes Specified Smoke Detector	DL	Denotes 0 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required.
OCB	Denotes Overhead Cupboard	DF	Denotes 250mm dia Exhaust Fan Ducted to outside air		

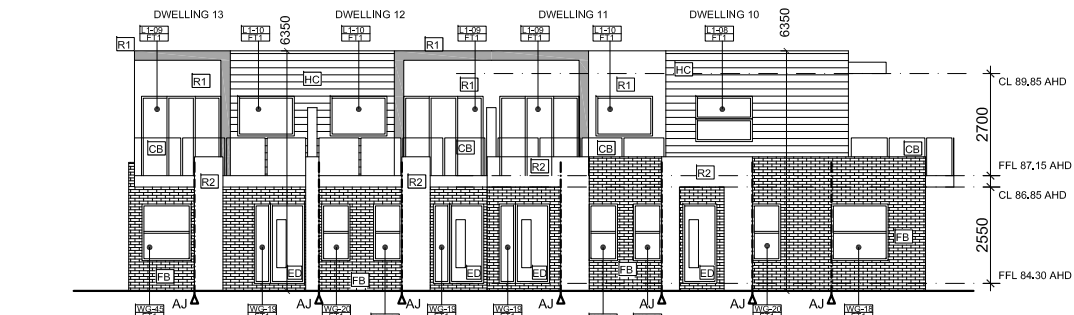


ELEVATION (O)

1:200 @ A2
1:100 @ A0

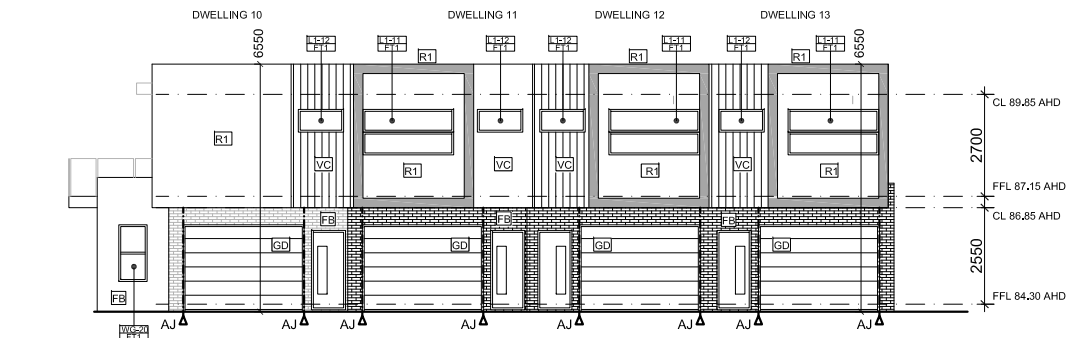
ELEVATION (P)

1:200 @ A2
1:100 @ A0



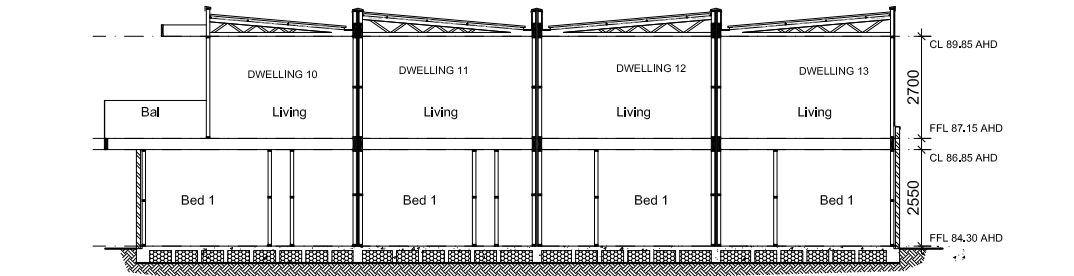
ELEVATION (M)

1:200 @ A2
1:100 @ A0



ELEVATION (N)

1:200 @ A2
1:100 @ A0

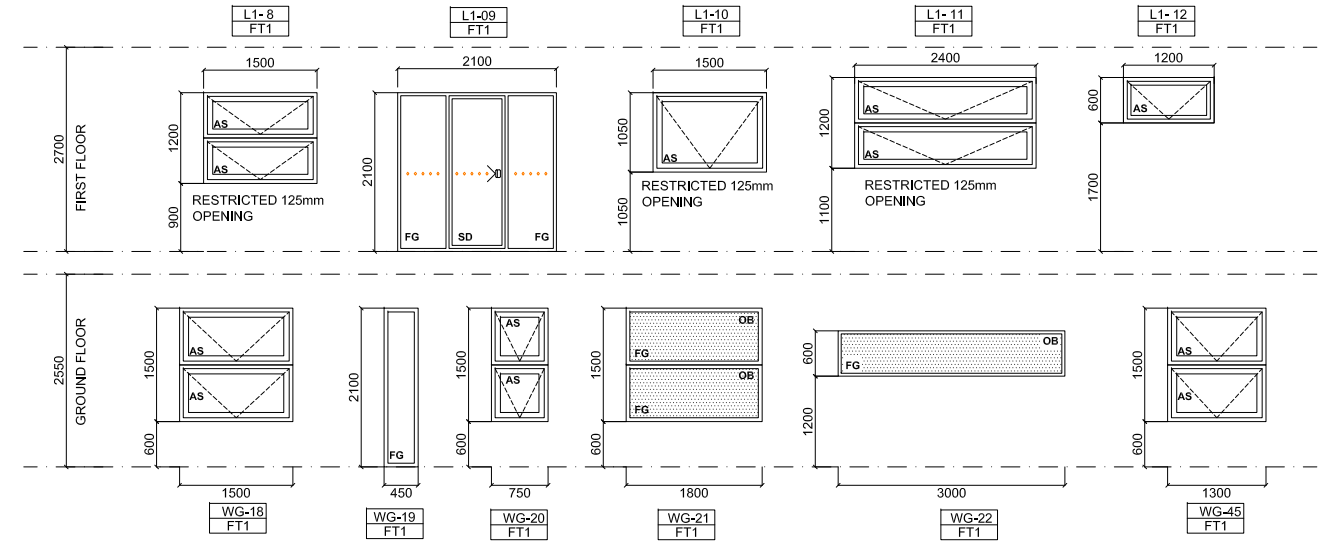


Dwelling 10-13 - SECTION X-X

1:200 @ A3
1:100 @ A1

LEGEND

- FB Face Brick
- HC Horizontal Cladding - Dark Grey
- R1 Rendered Finish - Light Render
- R2 Rendered Finish - Dark Render
- VC Vertical Cladding - Dark Render
- ED Entry Door - Dark Grey
- CG Clear Glazing - Dark Aluminium Frame
- OG Obscure Glazing - Up to 1.7m High above FF Dark Aluminium Frame
- CB Clear Glass Balustrade
- OB Obscure Glass Balustrade
- PS Plantation Shutters (Internal) - White
- GD Garage Door - Sectional Grille - Dark Colour
- RT Roof Tile - Dark Colour
- MR Metal Roofing - Dark Colour
- FF Metal Picket/Blade Front Fence - Dark Colour
- BF Timber Palling Boundary Fence



WINDOW SCHEDULE

1:100 @ A3
1:50 @ A1

GENERAL NOTES

1. ROOFING MATERIAL AS SELECTED. ROOF GRADIENT TO BE AT 2° ANGLED. NO GUTTER OR PART OF WALL SHOULD ENCR OACH BEYOND PROPERTY LINE.
2. STORMWATER DRAINAGE SYSTEM SHALL BE IN ACCORDANCE TO LOCAL AUTHORITY REQUIREMENTS.
3. ALL STORMWATER TO BE DISCHARGE TO LEGAL POINT OF DISCHARGE.
4. GUTTER TO BE AS SELECTED IN COLORBOND.
5. BOX GUTTER TO BE 1.0MM ZINCALUME STEEL FORMED TO PROFILE TO SUIT ROOF FRAMING AND FALL. SUPPORT ON TIMBER FRAMING AND 19MM MARINE GRADE PLY GUTTER BOARD SET TO FALL.
6. INSTALL CAPPING AND FLASHING IN 0.6MM BMT COLORBOND MATERIAL AS REQUIRED.
7. RAINWATER TANK TO BE SELECTED SLIMLINE SERIES WATER TANK. CONNECT WATER TANK TO W/C CISTERN TO MANUFACTURER'S RECOMMENDATION.

LEGEND - ELEVATIONS

- AJ ▲ ARTICULATION JOINT
- | WEEPHOLES

NOTES

- PROVIDE 10MM WIDE ARTICULATION JOINT FILLED WITH 75x10MM FORM BACKING STRIP AND CAULKING TO EXTERNAL FACE AS PER BCA STANDARDS.
- PROVIDE CAVITY FLASHING OUT TO WEEPHOLES @ EVERY 4TH BRICK (PREPEND OR 1.2METRE CENTRES. PROVIDE GALVANISED LINTEL ABOVE.
- PROVIDE TOP AND BOTTOM WEEPHOLES TO WINDOW AND OPENINGS AS SHOWN.

NOTES - WINDOWS

- ALL WINDOWS, LOUVRE & DOORS ARE TO BE VIEWED EXTERNALLY UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR FABRICATION.
- ALL DIMENSIONS TO STRUCTURAL OPENINGS TO BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION.
- WINDOW & DOOR PANELS SHALL BE EQUALLY SPACED UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH AS.1288 AND AS.2047.
- SAMPLES OF ALL GLASS TO BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURE OF WINDOWS.
- ALL EXTERNAL GLAZED DOORS TO BE PROVIDED WITH FULL PERIMETER SEAL.
- ALL EXTERNAL HINGED DOORS OPENINGS WINDOWS SASHES TO BE FITTED WITH DRAFT PROOF SEALS.
- ALL EXHAUST FANS TO BE DUCTED AND SEALED GAPS BETWEEN WINDOW AND DOOR FRAME AND THE BUILDING FABRIC TO BE SEALED
- ALL SUB-SILLS TO HAVE END CPAS AND TO BE SEALED WATER TIGHT.



DWELLING 10-13 ROOF PLAN

1:200 @ A3
1:100 @ A1

LEGEND

- (CB) SELECTED COLORBOND ROOFING
- (TL) SELECTED TILED ROOF
- (U) UPPER LEVEL ROOF
- (L) LOWER LEVEL ROOF
- CC CAPPING (FORM CAPPING TO ROOFING AS SPECIFIED)
- EG SELECTED COLORBOND EAVES GUTTER
- DP 100MM RECTANGULAR DOWNPIPE LOCATION. 150MM DEEP SUMP RAINWATER HEAD INSTALLED WHERE REQUIRED
- BG BOX GUTTER (FORM GRADIENT DIRECT TO DOWNPIPE). PROVIDE LEAVES WATER MESH
- FF ZINCALUME FLASHING GRADE AND DRESS TO GUIDE RAINWATER TO ROOF
- RWH RAINWATER HEAD AS SELECTED (MINIMUM 250X175MM) CONNECT TO ROOF GUTTER. SET TO BOX GUTTER FALL TO RAINWATER HEAD.
- SM SUMP TO SUIT BOX GUTTER (DIRECT TO LOWER ROOF)
- ▲ DENOTES DIRECTION OF ROOF FALL WITH SPECIFIED GRADIENT

GENERAL NOTES

Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.

Termite treatment in according to AS 3660.2 (2000) and BCA 09

Gas meter to be min 500mm away from window opening

LEGEND - PLAN

CA1	Denotes Carpet	HWS	Denotes Hot water unit	Manhole	Denotes Manhole
FB	Denotes Specified Floorboard	Switchboard	Denotes Switchboard	Base shower	Denotes base shower
FW	Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.	Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	Space for Fridge	Denotes Space for Fridge
FT1	Denotes Specified Floor Tiles	Ceramic Toilet Suite Pan	Denotes Specified Ceramic Toilet Suite Pan	Dishwasher Under Sink	Denotes Specified Dishwasher Under Sink
FT2	Denotes Specified outdoor Floor Tiles	Timber Vanity Unit with Specified Ceramic Bowl Above	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	Stainless Steel Sink	Denotes Specified Stainless Steel Sink
FC1	Denotes Concrete Floor	Smoke Detector	Denotes Specified Smoke Detector	100mm Downpipe Locations	Denotes 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required.
OCB	Denotes Overhead Cupboard	250mm dia Exhaust Fan Ducted to outside air	Denotes 250mm dia Exhaust Fan Ducted to outside air		



TIME ARCHITECTS

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- PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora
- DRAWING
- CLIENT
- ISSUED

DWELLING 10-13 ELEVATIONS/SECTION/WINDOW SCHEDULE

SENOL GROUP PTY LTD

- PRELIMINARY
- TOWN PLANNING
- CONSTRUCTION
- TENDER



REVISION

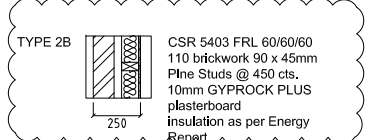
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- DATE February 2021
- DRAWN
- SCALE 1:100 (A1) 1:200 (A3)
- PAGE NO. A10
- JOB NO. T-0333

NO.	DATE.	AMENDMENTS

WALL TYPES

- TYPE 1A** 90 x 45mm pine studs @ 450 cts 10mm plasterboard on both sides.
- TYPE 1B** 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm plasterboard insulation as per Energy Report
- TYPE 1C** 90 x 45mm pine studwall @ 450 cts lined with insulation to achieve a minimum R1.5. Timber weatherboards externally as selected and 10mm plasterboard internally as selected.
- TYPE 1D** 110mm engaged brick piers
- TYPE 1E** CSR 2405 FRL60/60/Rw + Ctr 52. 25mm shaft liner panel. 90 x 45mm pine double studs @ 600cpts with 10mm SUPERCHEK on both sides 88 Soundscreen 2.5 Insulation
- TYPE 1F** CSR 5612 FRL 60/60/Rw + Ctr 35. 90 x 45mm pine studwall @ 450 cts 16mm Fyrochek PB externally James Hardie cladding externally 10mm Gyprock Sensitive PB internally painted as selected. 90 Acoustigard R2.0 insulation
- TYPE 1G** 90 x 45mm pine studwall @ 450 cts James Hardie cladding externally 10mm PB internally painted as selected. Insulation as per Energy report
- TYPE 2B** CSR 5403 FRL 60/60/60 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm GYROCK PLUS plasterboard insulation as per Energy Report

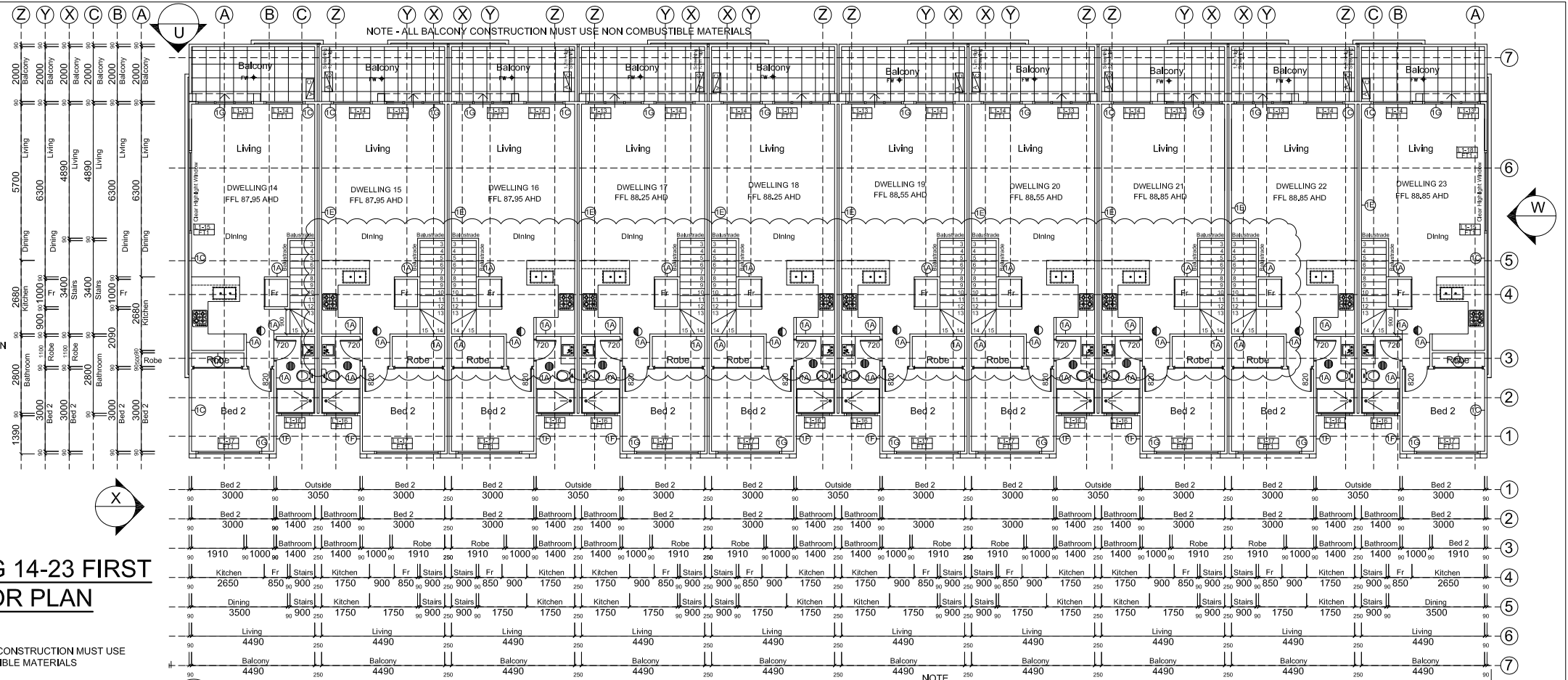


NOTE
ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD
ALL SMOKE DETECTORS IN THE SAME DWELLING MUST BE INTERCONNECTED AND HARDWIRED AS PER AS3786
ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR

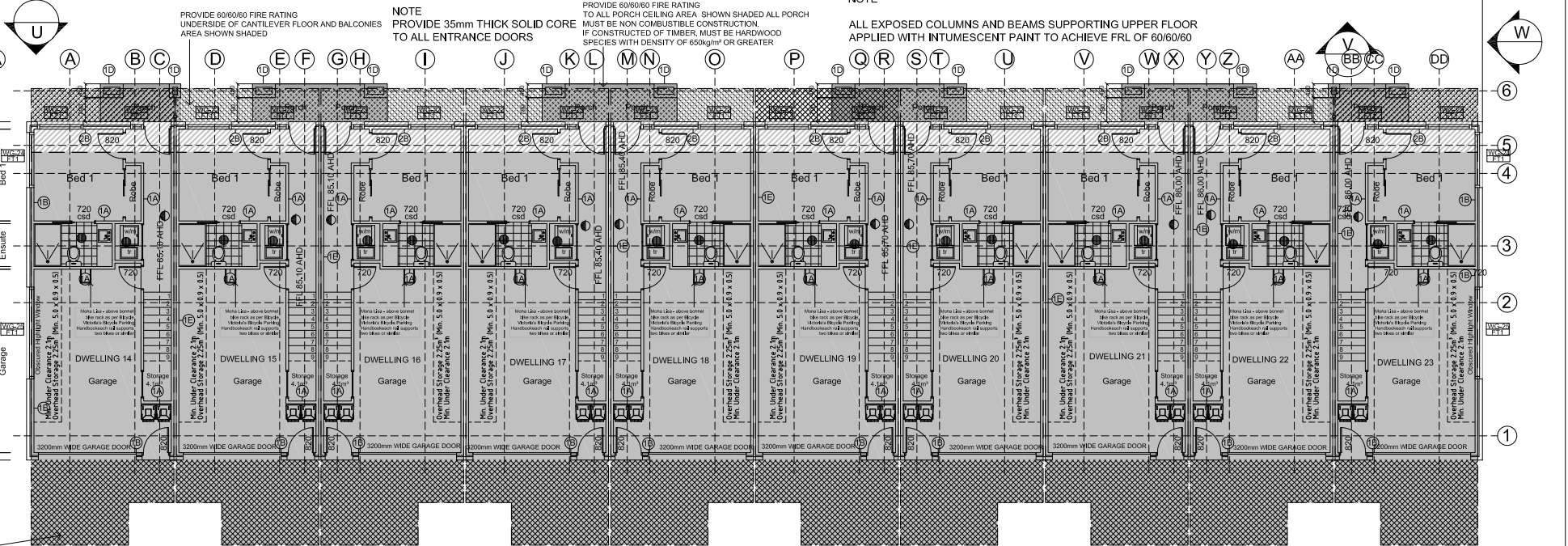
NOTE
PLIABLE BUILDING MEMBRANE INSTALLED IN EXTERNAL WALLS TO COMPLY WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2
DAMP PROOF COURSE TO BE (MIN) 75mm ABOVE FINISHED PAVING LEVEL IN ACCORDANCE WITH AS 3700
RAINWATER HEADS, FASCIAS, GUTTERS, DOWNPIPES AND THE LIKE WITHIN 450mm OF BOUNDARY SHALL BE NON-COMBUSTIBLE MATERIALS

NOTE
ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD
ALL SMOKE DETECTORS IN THE SAME UNIT TO BE INTERCONNECTED

NOTE
ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR
FLOW RATE DISCHARGE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.3
VENTILATION TO ROOF SPACE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.4



DWELLING 14-23 FIRST FLOOR PLAN



DWELLING 14-23 GROUND FLOOR PLAN

GENERAL NOTES

Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.

Termite treatment in according to AS 3660.2 (2000) and BCA 09

Gas meter to be min 500mm away from window opening

LEGEND - PLAN

CA1	Denotes Carpet	SWHS	Denotes Hot water unit	□	Denotes Manhole
FB	Denotes Specified Floorboard	SWboard	Denotes Switchboard	□	Denotes base shower
FW	Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.	SS	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out of rangehood above)	□	Denotes Space for Fridge
FT1	Denotes Specified Floor Tiles	SSP	Denotes Specified Ceramic Toilet Suite Pan	□	Denotes Specified Dishwasher Under Sink
FT2	Denotes Specified Outdoor Floor Tiles	SSS	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	□	Denotes Specified Stainless Steel Sink
CF1	Denotes Concrete Floor	SSS	Denotes Specified Smoke Detector	□	Denotes 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required
OCB	Denotes Overhead Cupboard	SSS	Denotes 250mm dia Exhaust Fan Ducted to outside air	□	

SITE AREA ANALYSIS

	Ground Floor	Garage	First Floor	Total
Dwelling 14	27 m ²	26 m ²	58 m ²	111 m ²
Dwelling 15	27 m ²	25 m ²	58 m ²	110 m ²
Dwelling 16	27 m ²	25 m ²	58 m ²	110 m ²
Dwelling 17	27 m ²	25 m ²	58 m ²	110 m ²
Dwelling 18	27 m ²	25 m ²	58 m ²	110 m ²
Dwelling 19	27 m ²	25 m ²	58 m ²	110 m ²
Dwelling 20	27 m ²	25 m ²	58 m ²	110 m ²
Dwelling 21	27 m ²	25 m ²	58 m ²	110 m ²
Dwelling 22	27 m ²	25 m ²	58 m ²	110 m ²
Dwelling 23	27 m ²	26 m ²	58 m ²	111 m ²

	P.O.S or Front Space	Balcony	Total
Dwelling 14	Front 15 m ²	9 m ²	24 m ²
Dwelling 15	Front 15 m ²	9 m ²	24 m ²
Dwelling 16	Front 15 m ²	9 m ²	24 m ²
Dwelling 17	Front 15 m ²	9 m ²	24 m ²
Dwelling 18	Front 15 m ²	9 m ²	24 m ²
Dwelling 19	Front 15 m ²	9 m ²	24 m ²
Dwelling 20	Front 15 m ²	9 m ²	24 m ²
Dwelling 21	Front 15 m ²	9 m ²	24 m ²
Dwelling 22	Front 15 m ²	9 m ²	24 m ²
Dwelling 23	Front 15 m ²	9 m ²	24 m ²

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PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

DWELLING 14-23 FLOOR PLANS

SENOL GROUP PTY LTD

PRELIMINARY TOWN PLANNING CONSTRUCTION TENDER

REVISION

WD-4

DATE: February 2021

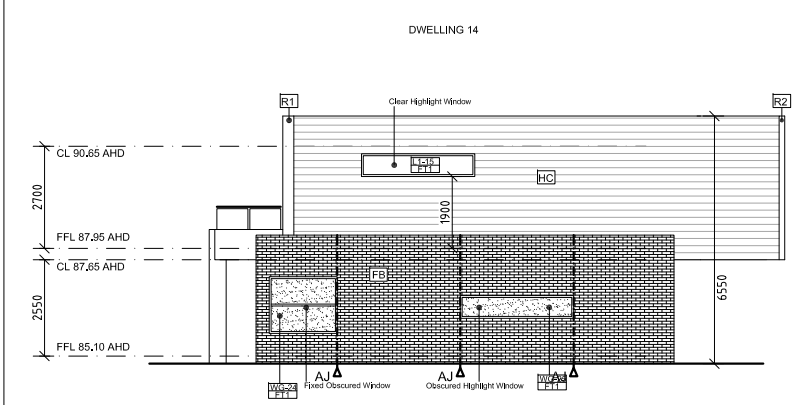
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PAGE NO.: A11

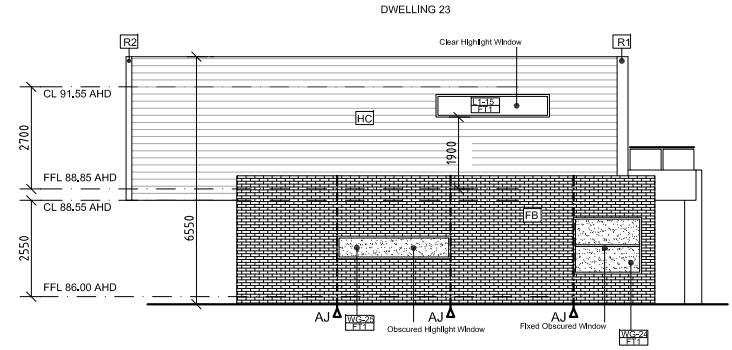
JOB NO.: T-0333

NO.	DATE.	AMENDMENTS



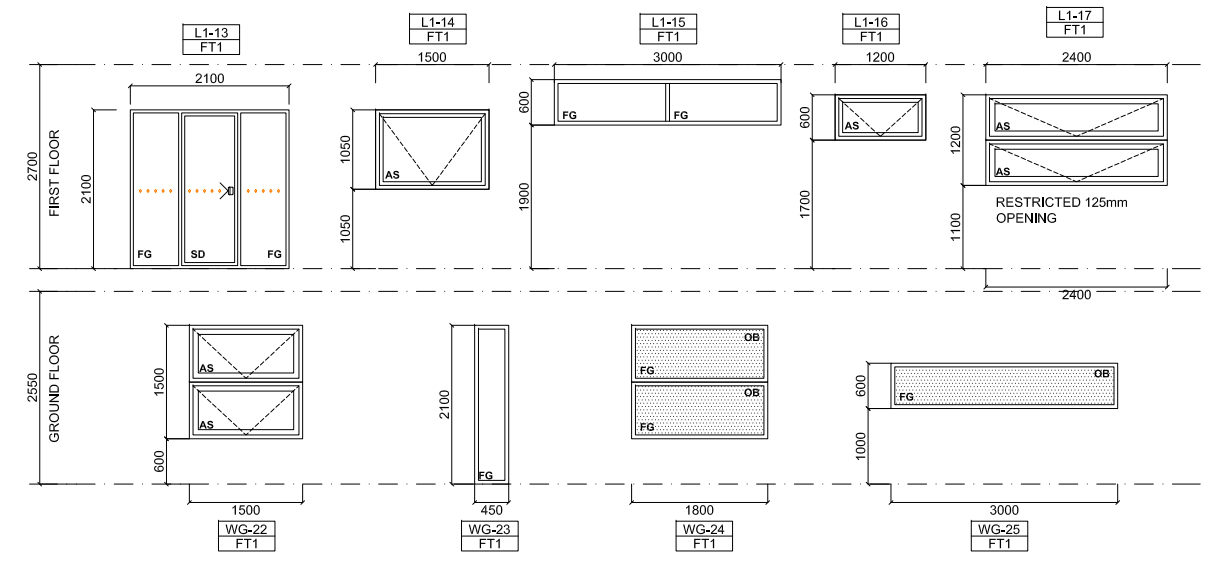
Dwelling 14 ELEVATION X

1:200 @ A2
1:100 @ A0



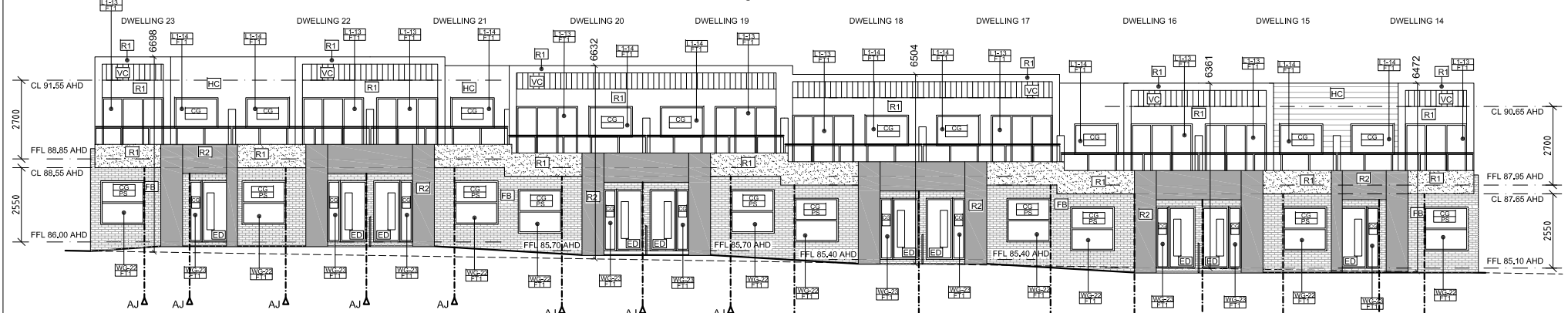
Dwelling 23 ELEVATION W

1:200 @ A2
1:100 @ A0



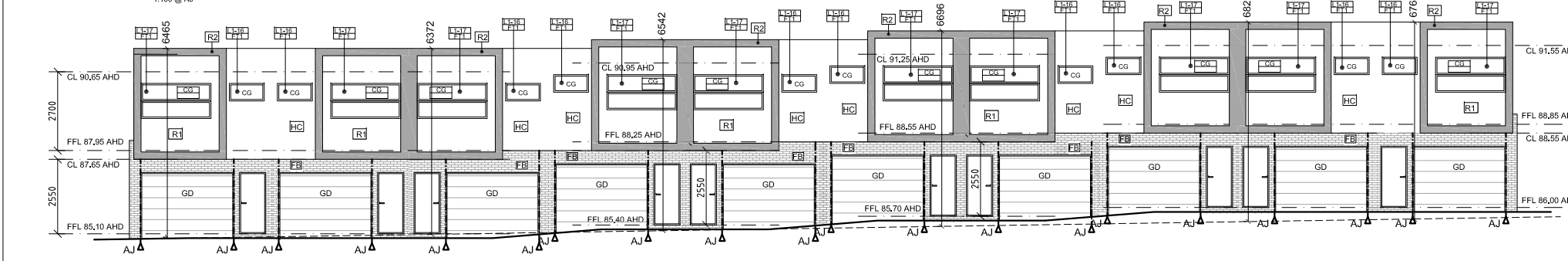
WINDOW SCHEDULE

1:100 @ A3 1:50 @ A1



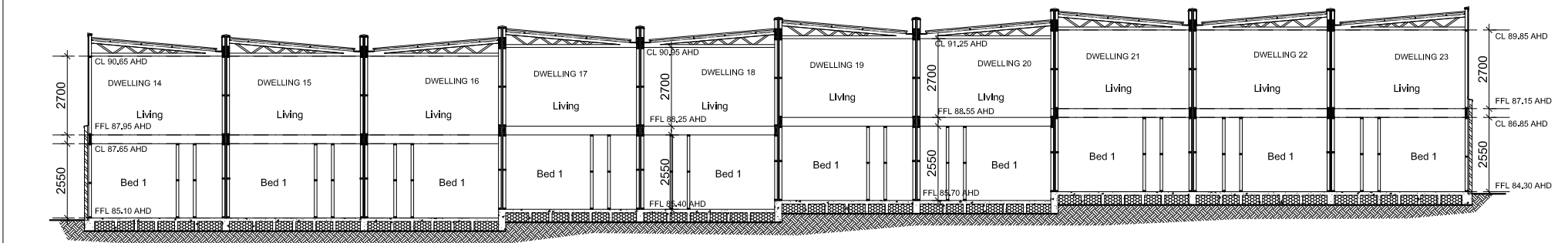
Dwelling 14-23 ELEVATION U

1:200 @ A2
1:100 @ A0



Dwelling 14-23 ELEVATION V

1:200 @ A2
1:100 @ A0



LEGEND

- FB Face Brick
- HC Horizontal Cladding - Dark Grey
- R1 Rendered Finish - Light Render
- R2 Rendered Finish - Dark Render
- VC Vertical Cladding - Dark Render
- ED Entry Door - Dark Grey
- CG Clear Glazing - Dark Aluminium Frame
- DG Obscure Glazing - Up to 1.7m High above FF Dark Aluminium Frame
- CB Clear Glass Balustrade
- OB Obscure Glass Balustrade
- PS Plantation Shutters (Internal) - White
- GD Garage Door - Sectional Grille - Dark Colour
- RT Roof Tile - Dark Colour
- MR Metal Roofing - Dark Colour
- FF Metal Picket/Blade Front Fence - Dark Colour
- BF Timber Palling Boundary Fence

LEGEND - ELEVATIONS

- AJ▲ ARTICULATION JOINT
- | WEEPHOLES

NOTES

PROVIDE 10MM WIDE ARTICULATION JOINT FILLED WITH 75x10MM FORM BACKING STRIP AND CAULKING TO EXTERNAL FACE AS PER BCA STANDARDS.

PROVIDE CAVITY FLASHING OUT TO WEEPHOLES @ EVERY 4TH BRICK PREPEND OR 1.2METRE CENTRES. PROVIDE GALVANISED LINTEL ABOVE.

PROVIDE TOP AND BOTTOM WEEPHOLES TO WINDOW AND OPENINGS AS SHOWN.

NOTES - WINDOWS

ALL WINDOWS, LOUVRE & DOORS ARE TO BE VIEWED EXTERNALLY UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR FABRICATION.

ALL DIMENSIONS TO STRUCTURAL OPENINGS TO BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION. WINDOW & DOOR PANELS SHALL BE EQUALLY SPACED UNLESS NOTED OTHERWISE.

ALL GLAZING TO COMPLY WITH AS,1288 AND AS,2047. SAMPLES OF ALL GLASS TO BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURE OF WINDOWS. ALL EXTERNAL GLAZED DOORS TO BE PROVIDED WITH FULL PERIMETER SEAL.

ALL EXTERNAL HINGED DOORS OPENINGS WINDOWS SASHES TO BE FITTED WITH DRAFT PROOF SEALS. ALL EXHAUST FANS TO BE DUCTED AND SEALED GAPS BETWEEN WINDOW AND DOOR FRAME AND THE BUILDING FABRIC TO BE SEALED. ALL SUB-SILLS TO HAVE END CPAS AND TO BE SEALED WATER TIGHT.

GENERAL NOTES

Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.

Termite treatment in according to AS 3660.2 (2000) and BCA 09

Gas meter to be min 500mm away from window opening

LEGEND - PLAN

- CA1 Denotes Carpet
- FB Denotes Specified Floorboard
- W Denotes Specified Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.
- FT1 Denotes Specified Floor Tiles
- FT2 Denotes Specified outdoor Floor Tiles
- CF1 Denotes Concrete Floor
- HWS Denotes Hot water unit
- SB Denotes Switchboard
- SS Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with slide out rangehood above)
- CS Denotes Specified Ceramic Toilet Suite Pan
- TV Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above
- SD Denotes Specified Smoke Detector
- Denotes Manhole
- Denotes base shower
- Denotes Space for Fridge
- Denotes Specified Dishwasher Under Sink
- Denotes Specified Stainless Steel Sink
- Denotes 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required.



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- PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora
- DRAWING DWELLING 14-23 ELEVATIONS/SECTION/WINDOW SCHEDULE
- CLIENT SENOL GROUP PTY LTD
- ISSUED

- PRELIMINARY
- TOWN PLANNING
- CONSTRUCTION
- TENDER



REVISION

WD-4

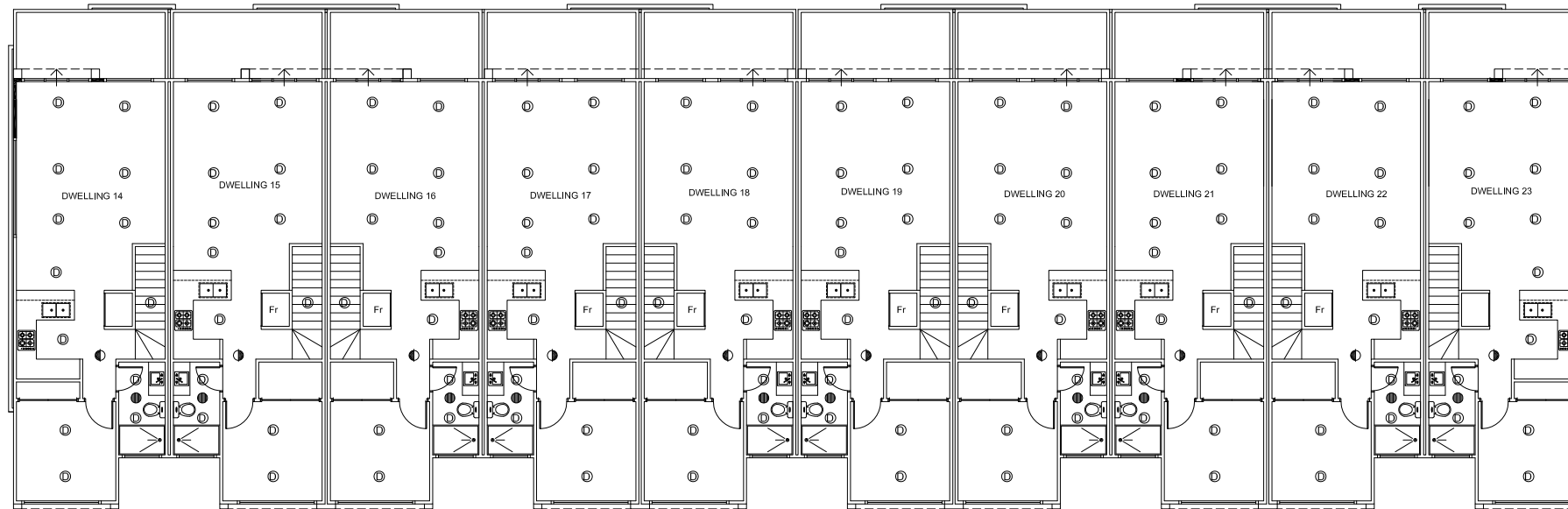
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- JOB NO. T-0333

NO.	DATE.	AMENDMENTS



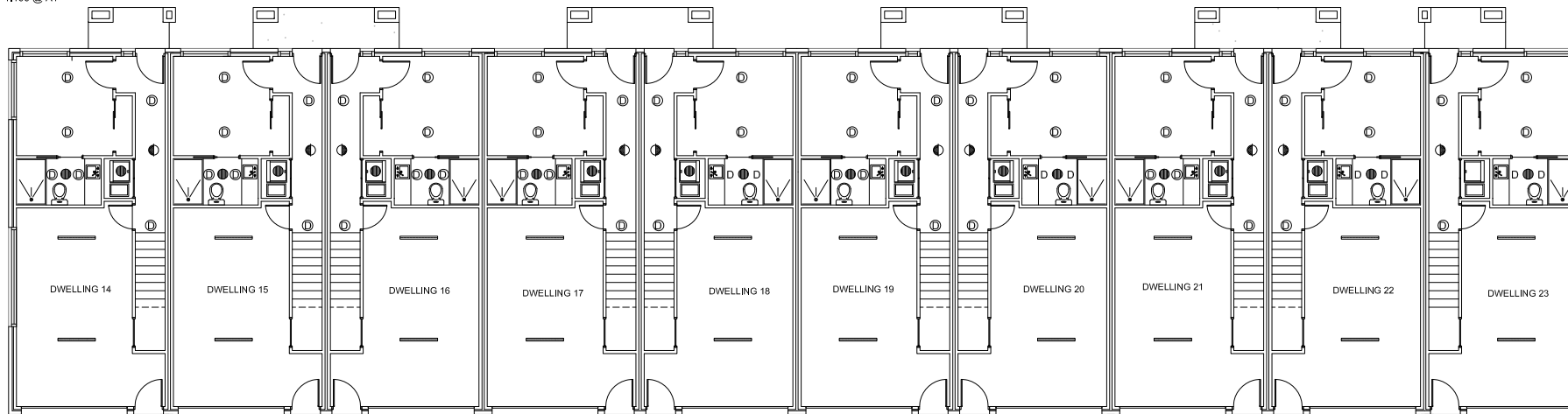
DWELLING 14-23 ROOF PLAN

1:200 @ A3
1:100 @ A1



DWELLING 14-23 FIRST FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1



DWELLING 14-23 GROUND FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1

GENERAL NOTES

1. ROOFING MATERIAL AS SELECTED. ROOF GRADIENT TO BE AT 25° ANGLED. NO GUTTER OR PART OF WALL SHOULD ENCR OACH BEYOND PROPERTY LINE.
2. STORMWATER DRAINAGE SYSTEM SHALL BE IN ACCORDANCE TO LOCAL AUTHORITY REQUIREMENTS.
3. ALL STORMWATER TO BE DISCHARGE TO LEGAL POINT OF DISCHARGE.
4. GUTTER TO BE AS SELECTED IN COLORBOND.
5. BOX GUTTER TO BE 1.0MM ZINCALUME STEEL FORMED TO PROFILE TO SUIT ROOF FRAMING AND FALL. SUPPORT ON TIMBER FRAMING AND 19MM MARINE GRADE PLY GUTTER BOARD SET TO FALL.
6. INSTALL CAPPING AND FLASHING IN 0.6MM BMT COLORBOND MATERIAL AS REQUIRED.
7. RAINWATER TANK TO BE SELECTED SLIMLINE SERIES WATER TANK. CONNECT WATER TANK TO W/C CISTERN TO MANUFACTURER'S RECOMMENDATION.

LEGEND

- | | | | |
|------|---|-----|--|
| (CB) | SELECTED COLORBOND ROOFING | BG | BOX GUTTER (FORM GRADIENT DIRECT TO DOWNSPIPE). PROVIDE LEAVES EATER MESH |
| (TL) | SELECTED TILED ROOF | FF | ZINCALUME FLASHING GRADE AND DRESS TO GUIDE RAINWATER TO ROOF |
| (U) | UPPER LEVEL ROOF | (L) | LOWER LEVEL ROOF |
| (L) | LOWER LEVEL ROOF | RWH | RAINWATER HEAD AS SELECTED (MINIMUM 250x175MM) CONNECT TO ROOF GUTTER. SET TO BOX GUTTER FALL TO RAINWATER HEAD. |
| CC | CAPPING (FORM CAPPING TO ROOFING AS SPECIFIED) | EG | SELECTED COLORBOND EAVES GUTTER |
| EG | SELECTED COLORBOND EAVES GUTTER | SM | SUMP TO SUIT BOX GUTTER (DIRECT TO LOWER ROOF) |
| DP* | 100MM RECTANGULAR DOWNSPIPE LOCATION. 150MM DEEP SUMP RAINWATER HEAD INSTALLED WHERE REQUIRED | ↗ | DENOTES DIRECTION OF ROOF FALL WITH SPECIFIED GRADIENT |

WALL TYPES

- | | | |
|---------|--|--|
| TYPE 1A | | 90 x 45mm pine studs @ 450 cts 10mm plasterboard on both sides. |
| TYPE 1B | | 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm plasterboard insulation as per Energy Report |
| TYPE 1C | | 90 x 45mm pine studwall @ 450 cts lined with insulation to achieve a minimum R1.5. Timber weatherboards externally as selected and 10mm plasterboard internally painted as selected. |
| TYPE 1D | | 110mm engaged brick piers |
| TYPE 1E | | CSR 2405 FRL60/60/60 Rw + Ctr 52. 25mm shaft liner panel. 90 x 45mm pine double studs @ 600 cts with 10mm SUPERCHEK on both sides. 88 Soundscreen 2.5 Insulation |
| TYPE 1F | | CSR 5612 FRL 60/60/60 Rw + Ctr 35. 90 x 45mm pine studwall @ 450 cts 16mm Fyrchek PB externally James Hardie cladding externally 10mm Gyprock Sensitive PB internally painted as selected. 90 Acoustgard R2.0 Insulation |
| TYPE 1G | | 90 x 45mm pine studwall @ 450 cts James Hardie cladding externally 10mm PB internally painted as selected. Insulation as per Energy report |
| TYPE 2B | | CSR 5403 FRL 60/60/60 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm GYROCK PLUS plasterboard insulation as per Energy Report |

UNIT No.

UNIT No.	Total Watts Usage Allowed (Excluding garage)	Total Watts Usage Pro (Excluding garage)	Total Watts Usage Allowed (Garage only)	Total Watts Usage Pro (Garage only)
DWELLING 14	395w	320w	69w	30w
DWELLING 15	390w	320w	69w	30w
DWELLING 16	390w	320w	69w	30w
DWELLING 17	390w	320w	69w	30w
DWELLING 18	390w	320w	69w	30w
DWELLING 19	390w	320w	69w	30w
DWELLING 20	390w	320w	69w	30w
DWELLING 21	390w	320w	69w	30w
DWELLING 22	390w	320w	69w	30w
DWELLING 23	395w	320w	69w	30w

LEGEND - PLAN

- | | | | | | |
|-----|---|----|--|---|---|
| CA1 | Denotes Carpet | HW | Denotes Hot water unit | ⊗ | Denotes Manhole |
| FB | Denotes Specified Floorboard | SW | Denotes Switchboard | ⊕ | Denotes base shower |
| FW | Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes. | SS | Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above) | ⊖ | Denotes Space for Fridge |
| FT1 | Denotes Specified Floor Tiles | ST | Denotes Specified Ceramic Toilet Suite Pan | ⊙ | Denotes Specified Dishwasher Under Sink |
| FT2 | Denotes Specified outdoor Floor Tiles | TV | Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above | ⊕ | Denotes Specified Stainless Steel Sink |
| CF1 | Denotes Concrete Floor | SD | Denotes Specified Smoke Detector | ⊕ | Denotes 0 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required. |
| OCB | Denotes Overhead Cupboard | DF | Denotes 250mm dia Exhaust Fan Ducted to outside air | | |



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● PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

● DRAWING

● CLIENT

● ISSUED

DWELLING 14-23 LIGHTING PLANS

SENOL GROUP PTY LTD

○ PRELIMINARY ○ TOWN PLANNING ● CONSTRUCTION ○ TENDER



REVISION

WD-4

● DATE February 2021

● DRAWN

● SCALE 1:100 (A1) 1:200 (A3)

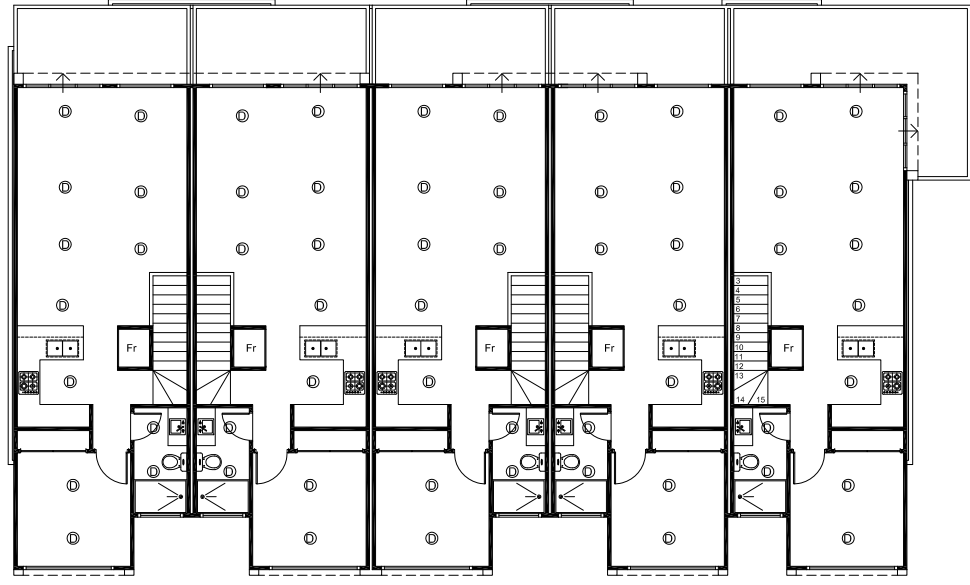
● PAGE NO. A13

● JOB NO. T-0333

NO.	DATE.	AMENDMENTS

DWELLING 24-28 FIRST FLOOR PLAN

1:200 @ A3
1:100 @ A1



DWELLING 24-28 FIRST FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1

WALL TYPES

- TYPE 1A: 90 x 45mm pine studs @ 450 cts 10mm plasterboard on both sides.
- TYPE 1B: 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm plasterboard insulation as per Energy Report
- TYPE 1C: 90 x 45mm pine studwall @ 450 cts lined with insulation to achieve a minimum R1.5. Timber weatherboards externally as selected and 10mm plasterboard internally painted as selected.
- TYPE 1D: 110mm engaged brick piers
- TYPE 1E: CSR 2405 FRL60/60/60 Rw + Ctr 52. 25mm shaft liner panel. 90 x 45mm pine double studs @ 600 cts with 10mm SUPERCHECK on both sides 88 Soundscreen 2.5 Insulation
- TYPE 1F: CSR 5612 FRL 60/60/60 Rw + Ctr 35. 90 x 45mm pine studwall @ 450 cts 16mm Fyrchek PB externally James Hardie cladding externally 10mm Gyprock Sensitive PB internally painted as selected. 90 Acoustigard R2.0 insulation
- TYPE 1G: 90 x 45mm pine studwall @ 450 cts James Hardie cladding externally 10mm PB internally painted as selected. Insulation as per Energy report
- TYPE 2B: CSR 5403 FRL 60/60/60 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm GYROCK PLUS plasterboard insulation as per Energy Report

- NOTE**
- PLIABLE BUILDING MEMBRANE INSTALLED IN EXTERNAL WALLS TO COMPLY WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2
 - DAMP PROOF COURSE TO BE (MIN) 75mm ABOVE FINISHED PAVING LEVEL IN ACCORDANCE WITH AS 3700
 - RAINWATER HEADS, FASCIAS, GUTTERS, DOWNPIPES AND THE LIKE WITHIN 450mm OF BOUNDARY SHALL BE NON-COMBUSTIBLE MATERIALS
- NOTE**
- ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD
 - ALL SMOKE DETECTORS IN THE SAME UNIT TO BE INTERCONNECTED
 - ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR FLOW RATE DISCHARGE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.3
 - VENTILATION TO ROOF SPACE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.4

DWELLING 24-28 GROUND FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1

SITE AREA ANALYSIS

	Ground Floor	Garage	First Floor	Total	P.O.S or Front Space	Balcony	Total
Dwelling 24	28 m ²	26m ²	58 m ²	112 m ²	Front 15 m ²	9 m ²	24 m ²
Dwelling 25	27 m ²	25m ²	58 m ²	110 m ²	Front 15 m ²	9 m ²	24 m ²
Dwelling 26	27 m ²	25m ²	58 m ²	110 m ²	Front 15 m ²	9 m ²	24 m ²
Dwelling 27	27 m ²	25m ²	58 m ²	110 m ²	Front 15 m ²	9 m ²	24 m ²
Dwelling 28	28 m ²	26m ²	58 m ²	112 m ²	Front 15 m ²	17 m ²	24 m ²

UNIT No.

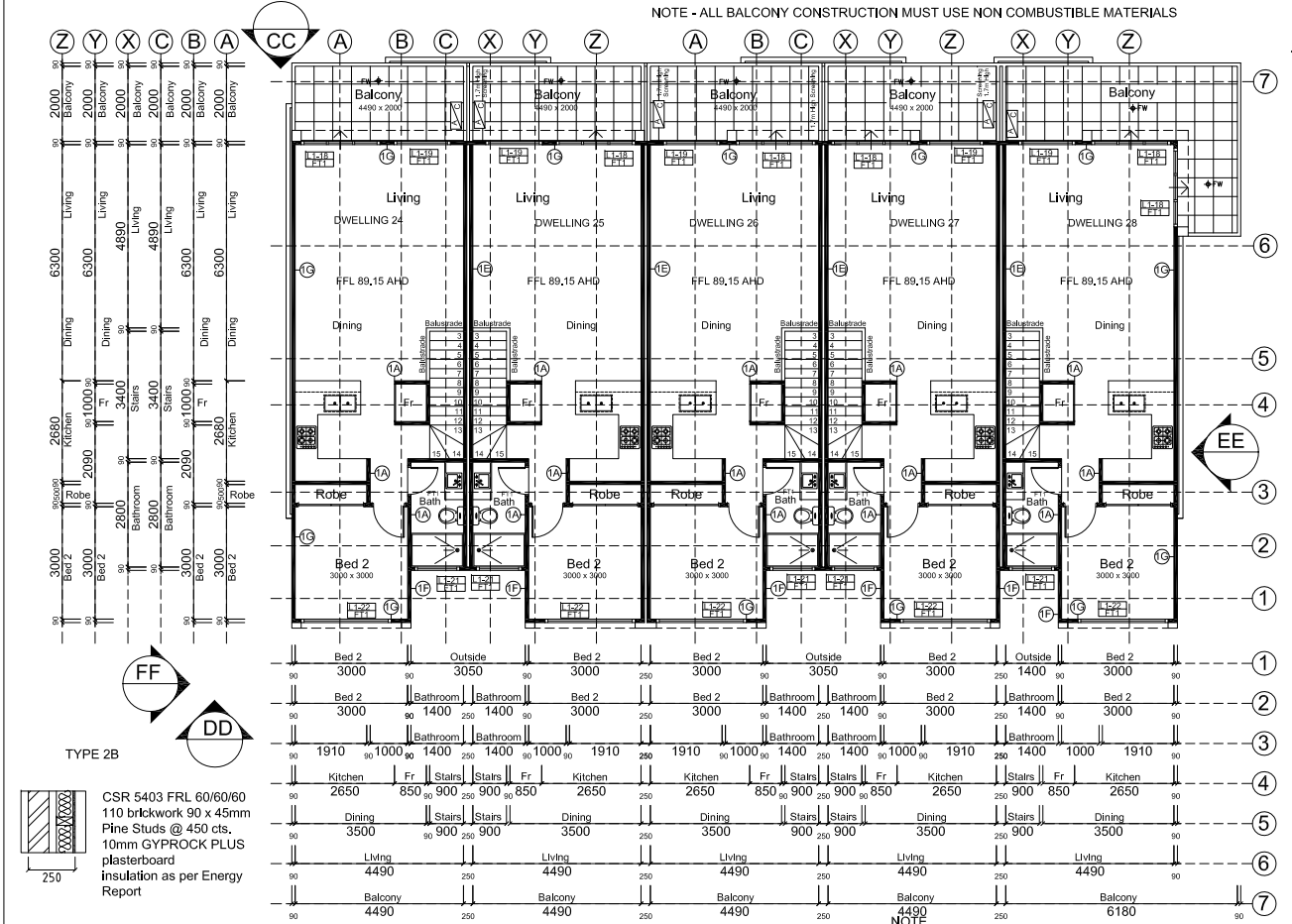
UNIT No.	Total Watts Usage Allowed (Excluding garage)	Total Watts Usage per Dwelling (Excluding garage)	Total Watts Usage (Garage only)	Total Watts Usage (Garage only)
DWELLING 24	395w	320w	69w	30w
DWELLING 25	390w	320w	69w	30w
DWELLING 26	390w	320w	69w	30w
DWELLING 27	390w	320w	69w	30w
DWELLING 28	395w	320w	69w	30w

GENERAL NOTES

- Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.
- Termite treatment in accordance to AS 3660.2 (2000) and BCA 09
- Gas meter to be min 500mm away from window opening

LEGEND - PLAN

CA1	Denotes Carpet	SWHS	Denotes Hot water unit	Denotes Manhole
FB	Denotes Specified Floorboard	Plasterboard	Denotes Switchboard	Denotes base shower
FW	Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	Denotes Specified Ceramic Toilet Suite Pan	Denotes Space for Fridge
FT1	Denotes Specified Floor Tiles	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	Denotes Specified Smoke Detector	Denotes Specified Stainless Steel Sink
FT2	Denotes Specified outdoor Floor Tiles	Denotes 250mm dia Exhaust Fan Ducted to outside air		Denotes 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required.
CF1	Denotes Concrete Floor			
OCB	Denotes Overhead Cupboard			



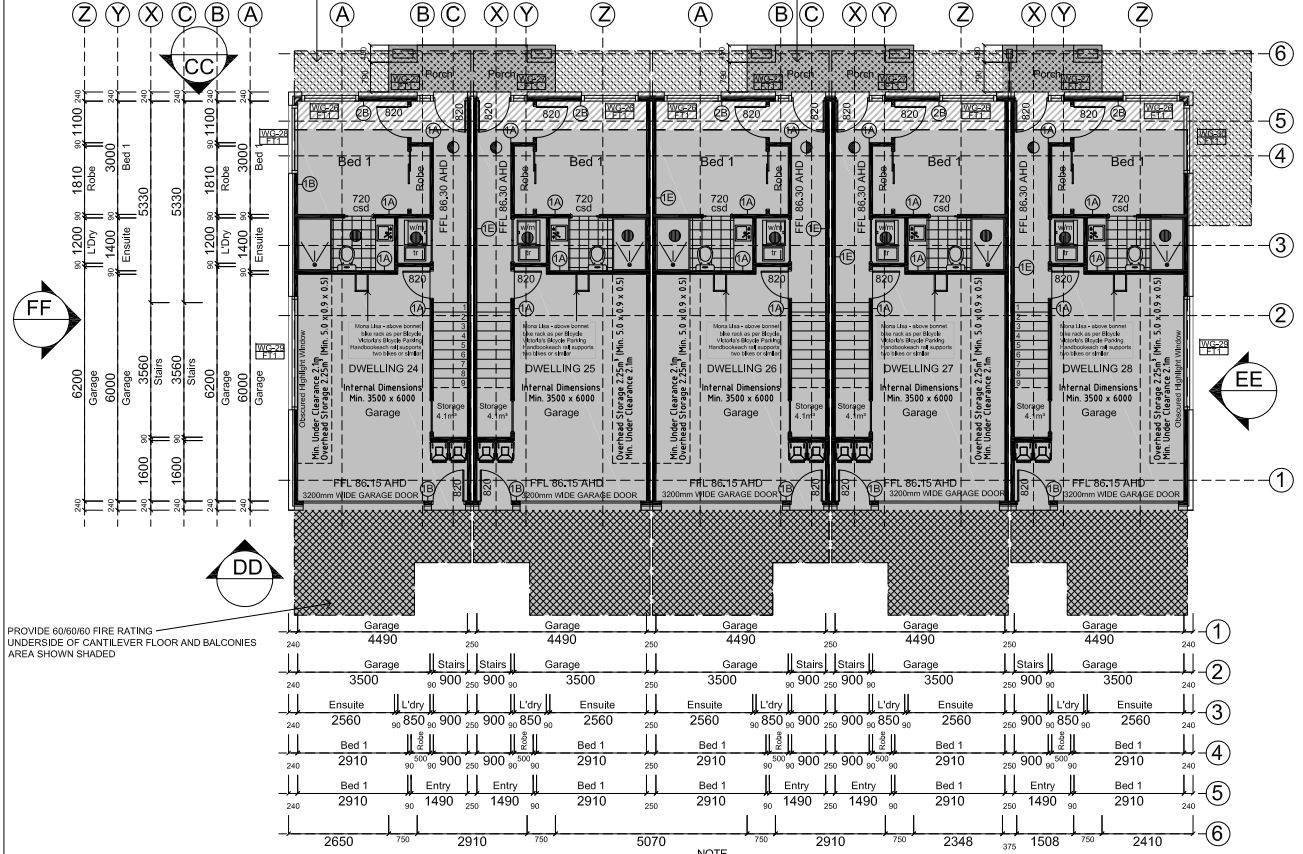
NOTE - ALL BALCONY CONSTRUCTION MUST USE NON COMBUSTIBLE MATERIALS

PROVIDE 60/60/60 FIRE RATING TO ALL PORCH CEILING AREA. SHOWN SHADED ALL PORCH MUST BE NON COMBUSTIBLE CONSTRUCTION. IF CONSTRUCTED OF TIMBER MUST BE HARDWOOD SPECIES WITH DENSITY OF 650kg/m³ OR GREATER

PROVIDE 60/60/60 FIRE RATING UNDERSIDE OF CANTILEVER FLOOR AND BALCONIES AREA SHOWN SHADED

PROVIDE 35mm THICK SOLID CORE TO ALL ENTRANCE DOORS

ALL EXPOSED COLUMNS AND BEAMS SUPPORTING UPPER FLOOR APPLIED WITH INTUMESCENT PAINT TO ACHIEVE FRL OF 60/60/60



NOTE

- ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD
- ALL SMOKE DETECTORS IN THE SAME DWELLING MUST BE INTERCONNECTED AND HARDWIRED AS PER AS3786
- ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR

DWELLING 24-28 GROUND FLOOR PLAN

1:200 @ A3
1:100 @ A1

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PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

DWELLING 24-28 FLOOR PLANS

SENOL GROUP PTY LTD

PRELIMINARY TOWN PLANNING CONSTRUCTION TENDER

DATE: February 2021

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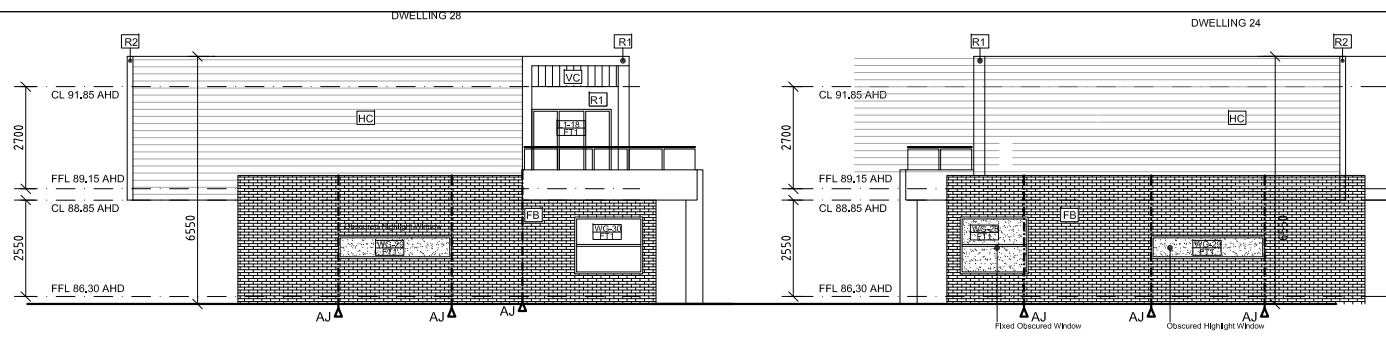
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PAGE NO.: A14

JOB NO.: T-0333

NO. DATE. AMENDMENTS

REVISION: WD-4

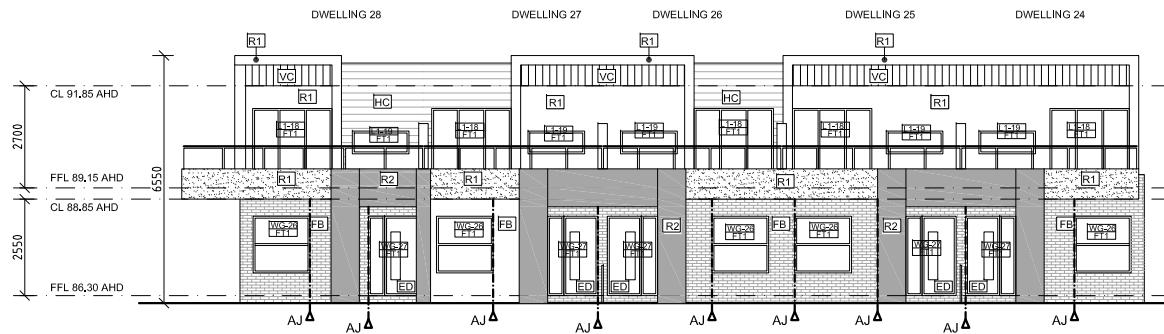


Dwelling 28 ELEVATION (EE)

1:200 @ A2
1:100 @ A0

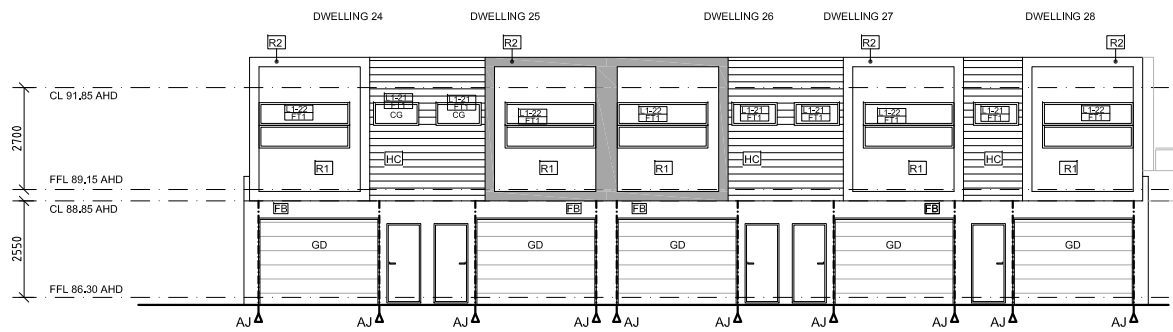
Dwelling 24 ELEVATION (FF)

1:200 @ A2
1:100 @ A0



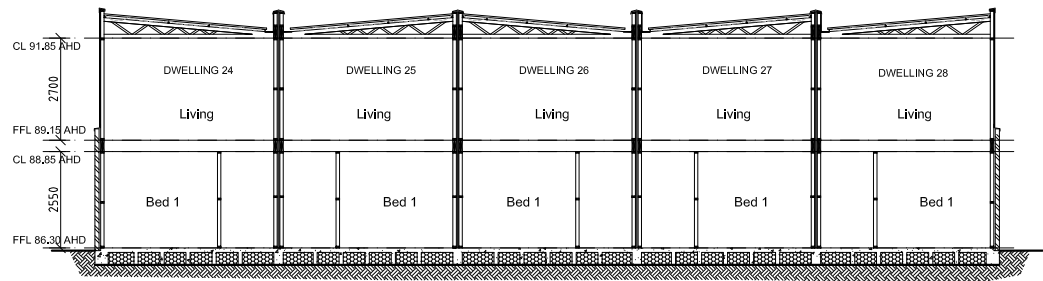
Dwelling 24-28 ELEVATION (CC)

1:200 @ A2
1:100 @ A0



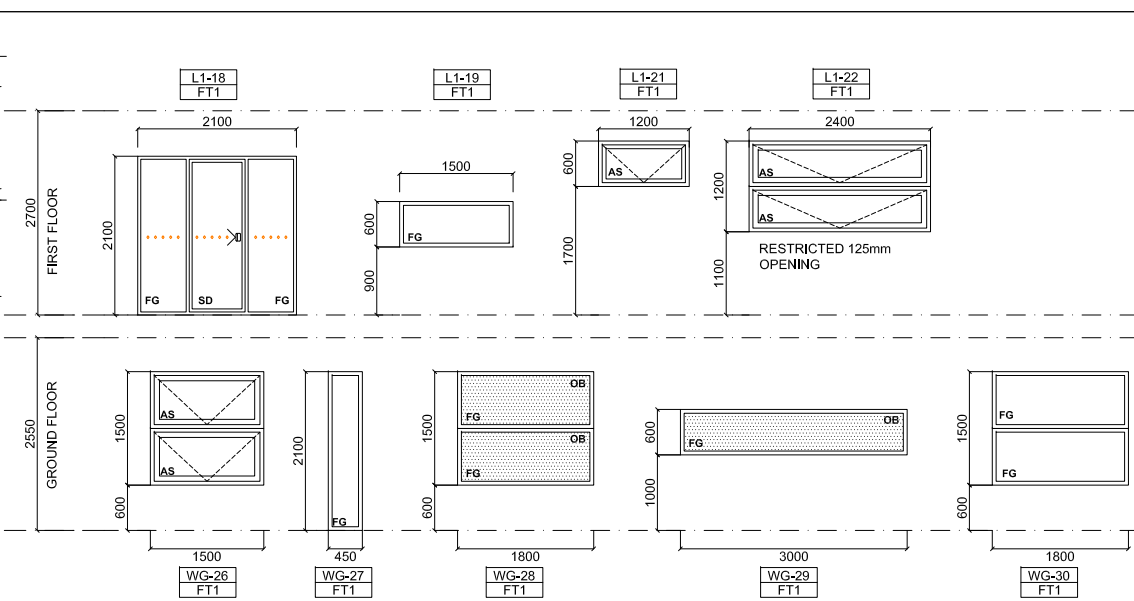
Dwelling 24-28 ELEVATION (DD)

1:200 @ A2
1:100 @ A0



Dwelling 24-28 SECTION X-X

1:200 @ A3
1:100 @ A1



WINDOW SCHEDULE

1:100 @ A3
1:50 @ A1

LEGEND

- FB Face Brick
- HC Horizontal Cladding - Dark Grey
- R1 Rendered Finish - Light Render
- R2 Rendered Finish - Dark Render
- VC Vertical Cladding - Dark Render
- ED Entry Door - Dark Grey
- CG Clear Glazing - Dark Aluminium Frame
- OG Obscure Glazing - Up to 1.7m High above FF Dark Aluminium Frame
- CB Clear Glass Balustrade
- OB Obscure Glass Balustrade
- PS Plantation Shutters (Internal) - White
- GD Garage Door - Sectional Grilles - Dark Colour
- RT Roof Tile - Dark Colour
- MR Metal Roofing - Dark Colour
- FF Metal Picket/Blade Front Fence - Dark Colour
- BF Timber Palling Boundary Fence



DWELLING 24-28 ROOF PLAN

1:200 @ A3
1:100 @ A1

LEGEND

- (CB) SELECTED COLORBOND ROOFING
- (TL) SELECTED TILED ROOF
- (U) UPPER LEVEL ROOF
- (L) LOWER LEVEL ROOF
- CC CAPPING (FORM CAPPING TO ROOFING AS SPECIFIED)
- EG SELECTED COLORBOND EAVES GUTTER
- DP 100MM RECTANGULAR DOWNPIPE LOCATION: 150MM DEEP SUMP RAINWATER HEAD INSTALLED WHERE REQUIRED
- BG BOX GUTTER (FORM GRADIENT DIRECT TO DOWNPIPE). PROVIDE LEAVES EATER MESH
- FF ZINCLUME FLASHING GRADE AND DRESS TO GUIDE RAINWATER TO ROOF
- RWH RAINWATER HEAD AS SELECTED (MINIMUM 250X175MM) CONNECT TO ROOF GUTTER. SET TO BOX GUTTER FALL TO RAINWATER HEAD.
- SM SUMP TO SUIT BOX GUTTER (DIRECT TO LOWER ROOF)
- SD DENOTES DIRECTION OF ROOF FALL WITH SPECIFIED GRADIENT

GENERAL NOTES

1. ROOFING MATERIAL AS SELECTED, ROOF GRADIENT TO BE AT 25° ANGLED, NO GUTTER OR PART OF WALL SHOULD ENCROACH BEYOND PROPERTY LINE.
2. STORMWATER DRAINAGE SYSTEM SHALL BE IN ACCORDANCE TO LOCAL AUTHORITY REQUIREMENTS.
3. ALL STORMWATER TO BE DISCHARGE TO LEGAL POINT OF DISCHARGE.
4. GUTTER TO BE AS SELECTED IN COLORBOND.
5. BOX GUTTER TO BE 1.0MM ZINCLUME STEEL FORMED TO PROFILE TO SUIT ROOF FRAMING AND FALL. SUPPORT ON TIMBER FRAMING AND 19MM MARINE GRADE PLY GUTTER BOARD SET TO FALL.
6. INSTALL CAPPING AND FLASHING IN 0.6MM BMT COLORBOND MATERIAL AS REQUIRED.
7. RAINWATER TANK TO BE SELECTED SLIMLINE SERIES WATER TANK. CONNECT WATER TANK TO W/C CISTERN TO MANUFACTURER'S RECOMMENDATION.

LEGEND - ELEVATIONS

- AJA ARTICULATION JOINT
- I WEEPHOLES

NOTES

- PROVIDE 10MM WIDE ARTICULATION JOINT FILLED WITH 75X10MM FORM BACKING STRIP AND CAULKING TO EXTERNAL FACE AS PER BCA STANDARDS.
- PROVIDE CAVITY FLASHING OUT TO WEEPHOLES @ EVERY 4TH BRICK (PREPEND OR 1.2METRE CENTRES. PROVIDE GALVANISED LINTEL ABOVE.
- PROVIDE TOP AND BOTTOM WEEPHOLES TO WINDOW AND OPENINGS AS SHOWN.

NOTES - WINDOWS

- ALL WINDOWS, LOUVRE & DOORS ARE TO BE VIEWED EXTERNALLY UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR FABRICATION.
- ALL DIMENSIONS TO STRUCTURAL OPENINGS TO BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION. WINDOW & DOOR PANELS SHALL BE EXUALLY SPACED UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH AS.1288 AND AS.2047. SAMPLES OF ALL GLASS TO BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURE OF WINDOWS.
- ALL EXTERNAL GLAZED DOORS TO BE PROVIDED WITH FULL PERIMETER SEAL.
- ALL EXTERNAL HINGED DOORS OPENINGS WINDOWS SASHES TO BE FITTED WITH DRAFT PROOF SEALS.
- ALL EXHAUST FANS TO BE DUCTED AND SEALED GAPS BETWEEN WINDOW AND DOOR FRAME AND THE BUILDING FABRIC TO BE SEALED.
- ALL SUB-SILLS TO HAVE END CPAS AND TO BE SEALED WATER TIGHT.

GENERAL NOTES

- Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.
- Termite treatment in according to AS 3660.2 (2000) and BCA 09
- Gas meter to be min 500mm away from window opening

LEGEND - PLAN

- | | | |
|---|--|---|
| CA1 Denotes Carpet | Denotes Hot water unit | Denotes Manhole |
| FB Denotes Specified Floorboard | Denotes Switchboard | Denotes base shower |
| Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes. | Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above) | Denotes Space for Fridge |
| FT1 Denotes Specified Floor Tiles | Denotes Specified Ceramic Toilet Suite Pan | Denotes Specified Dishwasher Under Sink |
| FT2 Denotes Specified outdoor Floor Tiles | Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above | Denotes Specified Stainless Steel Sink |
| CF1 Denotes Concrete Floor | Denotes Specified Smoke Detector | Denotes 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required. |
| OCB Denotes Overhead Cupboard | Denotes 250mm dia Exhaust Fan Ducted to outside air | |

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145-145 Leicester Street, Carlton 3053
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● PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

● DRAWING
● CLIENT
● ISSUED

DWELLING 24-28 ELEVATIONS/SECTION WINDOW SCHEDULE

SENOL GROUP PTY LTD

○ PRELIMINARY ○ TOWN PLANNING ● CONSTRUCTION ○ TENDER

● DATE February 2021

● DRAWN

● SCALE 1:100 (A1) 1:200 (A3)

● PAGE NO. A15

● JOB NO. T-0333

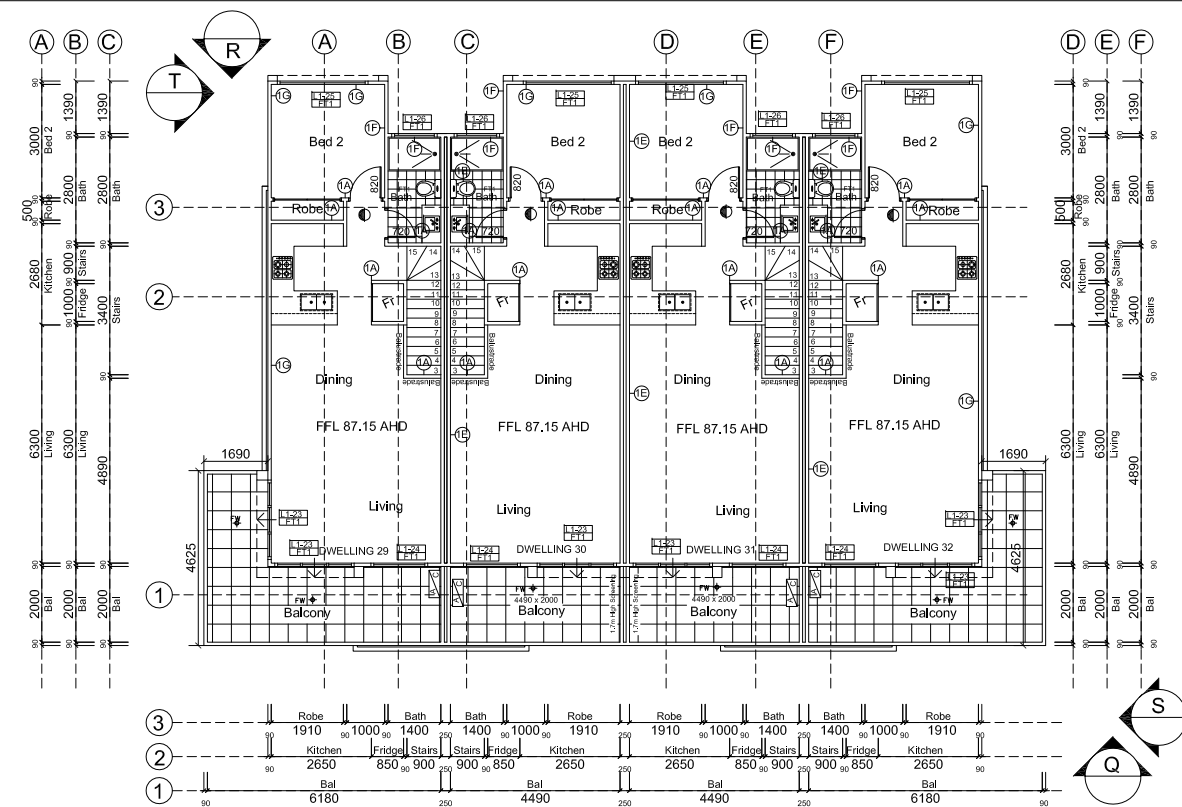
REVISION

WD-4

NO.	DATE.	AMENDMENTS

TIME ARCHITECTS

All dimensions must be verified on site prior to commencement of work or establishment of any floor drainage. Ground dimensions must take precedence over scaled dimensions. All scaled dimensions must be verified on site.



DWELLING 29-32 FIRST FLOOR PLAN

1:200 @ A3
1:100 @ A1

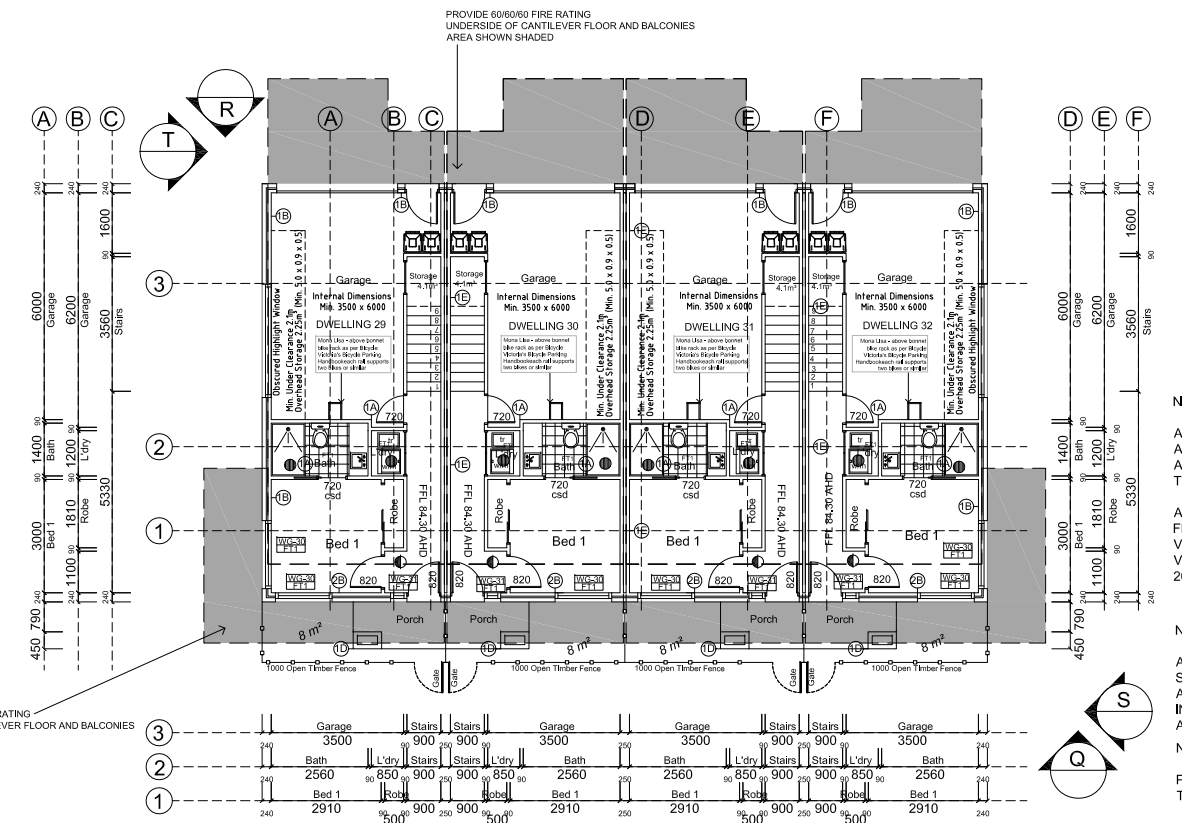
NOTE
ALL BALCONY CONSTRUCTION MUST USE
NON COMBUSTIBLE MATERIALS

NOTE

PLIABLE BUILDING MEMBRANE INSTALLED IN EXTERNAL WALLS
TO COMPLY WITH AS/NZS 4200.1 AND TO BE INSTALLED IN
ACCORDANCE WITH AS 4200.2

DAMP PROOF COURSE TO BE (MIN) 75mm ABOVE
FINISHED PAVING LEVEL IN ACCORDANCE WITH AS 3700

RAINWATER HEADS, FASCIAS, GUTTERS, DOWNPIPES
AND THE LIKE WITHIN 450mm OF BOUNDARY SHALL BE
NON-COMBUSTIBLE MATERIALS



DWELLING 29-32 GROUND FLOOR PLAN

1:200 @ A3
1:100 @ A1

AREA ANALYSIS

	Ground Floor	Garage	First Floor	P.O.S or Front Space	Balcony	Total
Dwelling 29	28 m ²	26 m ²	58 m ²	Front 8m ²	17 m ²	137 m ²
Dwelling 30	27 m ²	25 m ²	58 m ²	Front 8m ²	9 m ²	127 m ²
Dwelling 31	27 m ²	25 m ²	58 m ²	Front 8m ²	9 m ²	127 m ²
Dwelling 32	28 m ²	26 m ²	58 m ²	Front 8m ²	17 m ²	137 m ²

NOTE

ALL SMOKE DETECTORS TO BE MIN. 300mm
AWAY FROM WALL DOOR WAY AND BULKHEAD
ALL SMOKE DETECTORS IN THE SAME UNIT
TO BE INTERCONNECTED

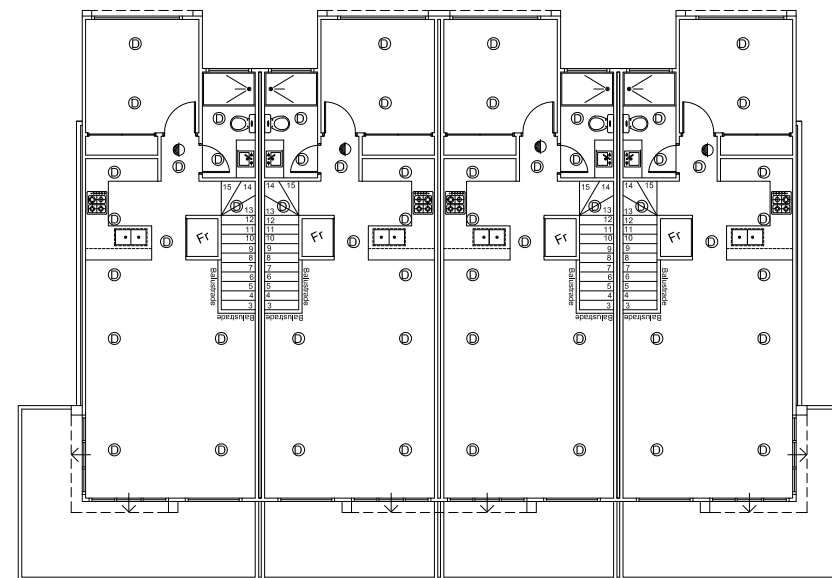
ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR
FLOW RATE DISCHARGE IN ACCORDANCE WITH NCC 2019
VOLUME 2 CLAUSE 3.8.7.3
VENTILATION TO ROOF SPACE IN ACCORDANCE WITH NCC
2019 VOLUME 2 CLAUSE 3.8.7.4

NOTE

ALL EXPOSED COLUMNS AND BEAMS
SUPPORTING UPPER FLOOR
APPLIED WITH
INTUMESCENT PAINT TO
ACHIEVE FRL OF 60/60/60

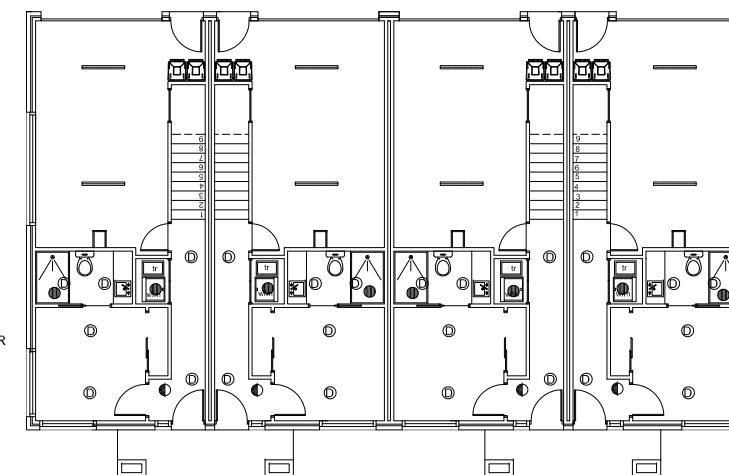
NOTE

PROVIDE 35mm THICK SOLID CORE
TO ALL ENTRANCE DOORS



DWELLING 29-32 FIRST FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1



DWELLING 29-32 GROUND FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1

UNIT No.	Total Watts Usage Allowed (Excluding garage)	Total Watts Usage (Including garage)	Total Watts Usage Allowed (Garage only)	Total Watts Usage (Garage only)
DWELLING 29	430w	400w	78w	30w
DWELLING 30	425w	400w	75w	30w
DWELLING 31	425w	400w	75w	30w
DWELLING 32	430w	400w	78w	30w

WALL TYPES

- TYPE 1A: 90 x 45mm pine studs @ 450 cts 10mm plasterboard on both sides.
- TYPE 1B: 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm plasterboard insulation as per Energy Report
- TYPE 1C: 90 x 45mm pine studwall @ 450 cts lined with insulation to achieve a minimum R1.5. Timber weatherboards externally as selected and 10mm plasterboard internally painted as selected.
- TYPE 1D: 110mm engaged brick piers
- TYPE 1E: CSR 2405 FRL60/60/60 Rw + Ctr 52. 25mm shaft liner panel. 90 x 45mm pine double studs @ 600cts with 10mm SUPERCHECK on both sides 88 Soundscreen 2.5 Insulation
- TYPE 1F: CSR 5612 FRL 60/60/60 Rw + Ctr 35. 90 x 45mm pine studwall @ 450 cts 10mm Fyrock PB externally James Hardie cladding externally 10mm Gyprock Sensitive PB internally painted as selected. 90 Acoustigard R2.0 insulation
- TYPE 1G: 90 x 45mm pine studwall @ 450 cts James Hardie cladding externally 10mm PB internally painted as selected. Insulation as per Energy report
- TYPE 2B: CSR 5403 FRL 60/60/60 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm GYROCK PLUS plasterboard insulation as per Energy Report

GENERAL NOTES

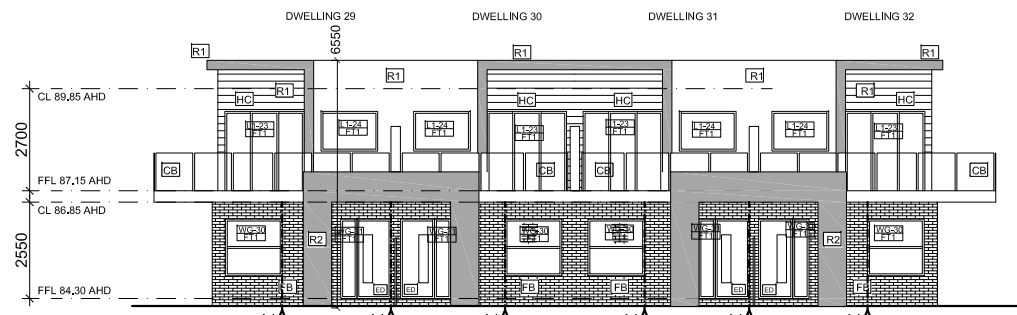
Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.

Termite treatment in according to AS 3660.2 (2000) and BCA 09

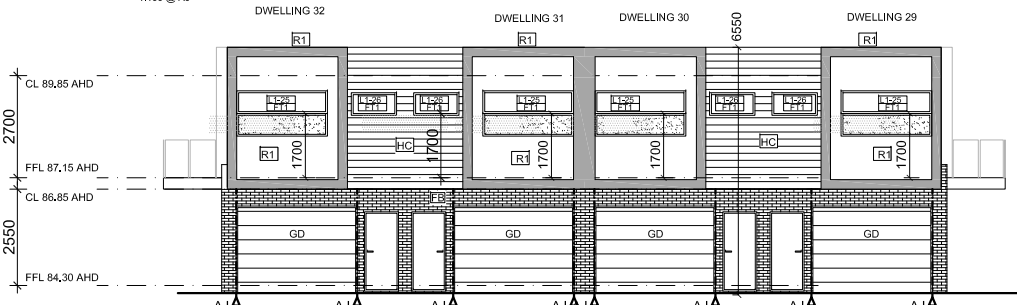
Gas meter to be min 500mm away from window opening

LEGEND - PLAN

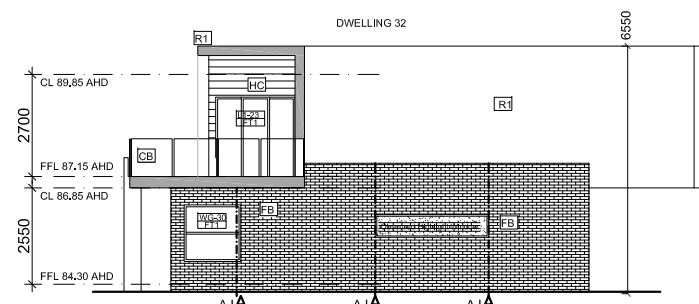
CA1	Denotes Carpet	HWS	Denotes Hot water unit	Manhole	Denotes Manhole
FB	Denotes Specified Floorboard	Plasterboard	Denotes Switchboard	Denotes base shower	Denotes base shower
FW	Denotes Specified Floorboard	Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)	Denotes Specified Ceramic Toilet Suite Pan	Denotes Space for Fridge	Denotes Space for Fridge
FT1	Denotes Specified Floor Tiles	Denotes Specified Ceramic Toilet Suite Pan	Denotes Specified Ceramic Bowl Above	Denotes Specified Dishwasher Under Sink	Denotes Specified Dishwasher Under Sink
FT2	Denotes Specified outdoor Floor Tiles	Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above	Denotes Specified Smoke Detector	Denotes Specified Stainless Steel Sink	Denotes Specified Stainless Steel Sink
FC1	Denotes Concrete Floor	Denotes 250mm dia Exhaust Fan Ducted to outside air		Denotes 100mm Downpipe Locations	Denotes 100mm Downpipe Locations
OCB	Denotes Overhead Cupboard			150mm Deep Bump Rainwater Head Installed Where Required.	150mm Deep Bump Rainwater Head Installed Where Required.



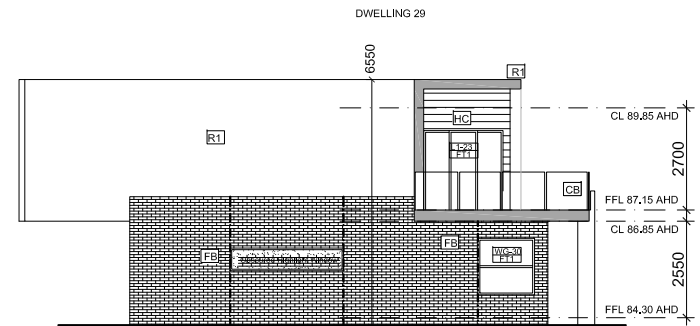
ELEVATION (Q)
1:200 @ A2
1:100 @ A0



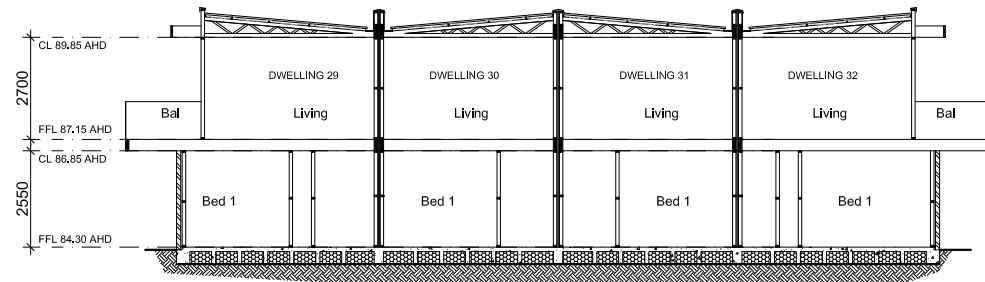
ELEVATION (R)
1:200 @ A2
1:100 @ A0



ELEVATION (S)
1:200 @ A2
1:100 @ A0

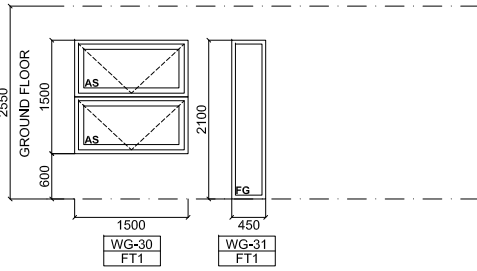
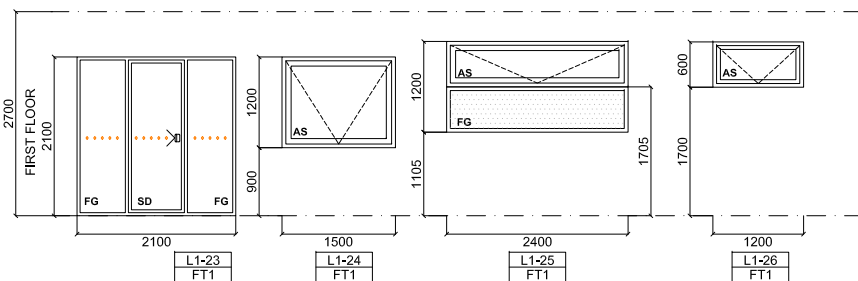


ELEVATION (T)
1:200 @ A2
1:100 @ A0

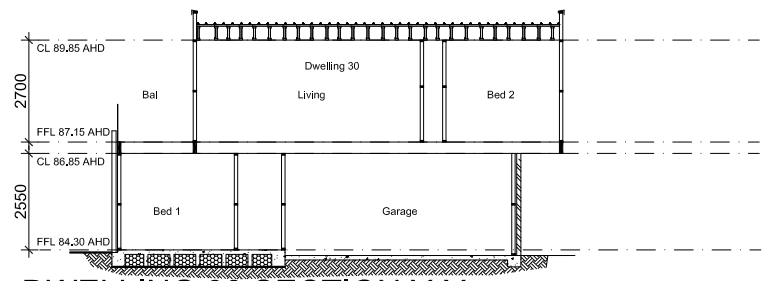


DWELLING 29-32 SECTION X-X

1:200 @ A3
1:100 @ A1

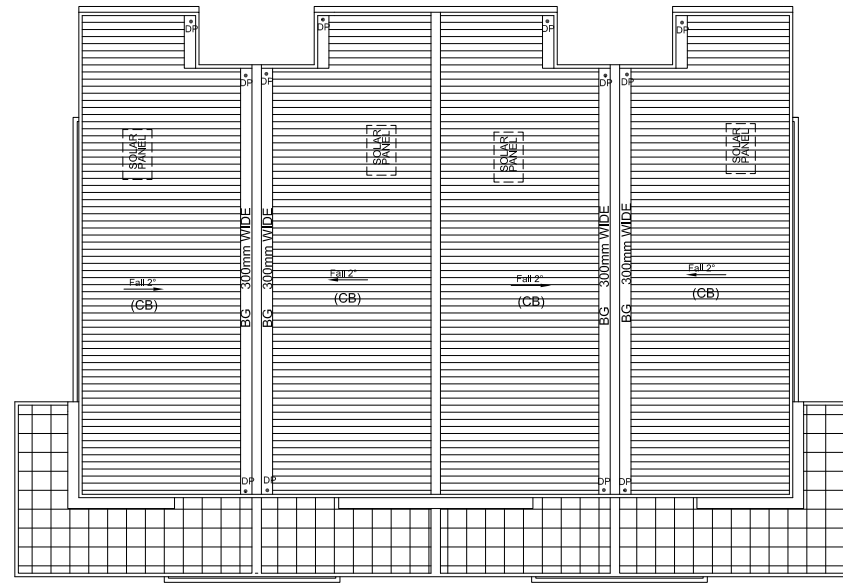


WINDOW SCHEDULE
1:100 @ A3
1:50 @ A1



DWELLING 30 SECTION Y-Y

1:200 @ A3
1:100 @ A1



DWELLING 29-32 ROOF PLAN

1:200 @ A3
1:100 @ A1

LEGEND

- FB Face Brick
- HC Horizontal Cladding - Dark Grey
- R1 Rendered Finish - Light Render
- R2 Rendered Finish - Dark Render
- VC Vertical Cladding - Dark Render
- ED Entry Door - Dark Grey
- CG Clear Glazing - Dark Aluminium Frame
- OG Obscure Glazing - Up to 1.7m High above FF Dark Aluminium Frame
- CB Clear Glass Balustrade
- OB Obscure Glass Balustrade
- PS Plantation Shutters (Internal) - White
- GD Garage Door - Sectional Grille - Dark Colour
- RT Roof Tile - Dark Colour
- MR Metal Roofing - Dark Colour
- FF Metal Picket/Blade Front Fence - Dark Colour
- BF Timber Palling Boundary Fence

LEGEND - ELEVATIONS

- AJ▲ ARTICULATION JOINT
- | WEEPHOLES

NOTES

- PROVIDE 10MM WIDE ARTICULATION JOINT FILLED WITH 75x10MM FORM BACKING STRIP AND CAULKING TO EXTERNAL FACE AS PER BCA STANDARDS.
- PROVIDE CAVITY FLASHING OUT TO WEEPHOLES @ EVERY 4TH BRICK (PREPEND OR 1.2METRE CENTRES, PROVIDE GALVANISED LINTEL ABOVE.
- PROVIDE TOP AND BOTTOM WEEPHOLES TO WINDOW AND OPENINGS AS SHOWN.

NOTES - WINDOWS

- ALL WINDOWS, LOUVRE & DOORS ARE TO BE VIEWED EXTERNALLY UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR FABRICATION.
- ALL DIMENSIONS TO STRUCTURAL OPENINGS TO BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION. WINDOW & DOOR PANELS SHALL BE EQUALLY SPACED UNLESS NOTED OTHERWISE.
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- ALL EXTERNAL HINGED DOORS OPENINGS WINDOWS SASHES TO BE FITTED WITH DRAFT PROOF SEALS.
- ALL EXHAUST FANS TO BE DUCTED AND SEALED GAPS BETWEEN WINDOW AND DOOR FRAME AND THE BUILDING FABRIC TO BE SEALED.
- ALL SUB-SILLS TO HAVE END CPAS AND TO BE SEALED WATER TIGHT.

GENERAL NOTES

1. ROOFING MATERIAL AS SELECTED. ROOF GRADIENT TO BE AT 25° ANGLED. NO GUTTER OR PART OF WALL SHOULD ENCR OACH BEYOND PROPERTY LINE.
2. STORMWATER DRAINAGE SYSTEM SHALL BE IN ACCORDANCE TO LOCAL AUTHORITY REQUIREMENTS.
3. ALL STORMWATER TO BE DISCHARGE TO LEGAL POINT OF DISCHARGE.
4. GUTTER TO BE AS SELECTED IN COLORBOND.
5. BOX GUTTER TO BE 1.0MM ZINCALUME STEEL FORMED TO PROFILE TO SUIT ROOF FRAMING AND FALL. SUPPORT ON TIMBER FRAMING AND 19MM MARINE GRADE PLY GUTTER BOARD SET TO FALL.
6. INSTALL CAPPING AND FLASHING IN 0.6MM BMT COLORBOND MATERIAL AS REQUIRED.
7. RAINWATER TANK TO BE SELECTED SLIMLINE SERIES WATER TANK. CONNECT WATER TANK TO W/C CISTERN TO MANUFACTURER'S RECOMMENDATION.

GENERAL NOTES

- Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.
- Termite treatment in according to AS 3660.2 (2000) and BCA 09
- Gas meter to be min 500mm away from window opening

LEGEND - PLAN

- | | | |
|---|--|---|
| CA1 Denotes Carpet | Denotes Hot water unit | Denotes Manhole |
| FB Denotes Specified Floorboard | Denotes Switchboard | Denotes base shower |
| Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes. | Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above) | Denotes Space for Fridge |
| FT1 Denotes Specified Floor Tiles | Denotes Specified Ceramic Toilet Suite Pan | Denotes Specified Dishwasher Under Sink |
| FT2 Denotes Specified outdoor Floor Tiles | Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above | Denotes Specified Stainless Steel Sink |
| CF1 Denotes Concrete Floor | Denotes Specified Smoke Detector | Denotes 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required. |
| OCB Denotes Overhead Cupboard | Denotes 250mm dia Exhaust Fan Ducted to outside air | |

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● PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

● DRAWING

● CLIENT

● ISSUED

DWELLING 29-32 ELEVATIONS/SECTION/WINDOW SCHEDULE

SENOL GROUP PTY LTD

- PRELIMINARY
- TOWN PLANNING
- CONSTRUCTION
- TENDER



REVISION
WD-4

● DATE February 2021

● DRAWN

● SCALE 1:100 (A1) 1:200 (A3)

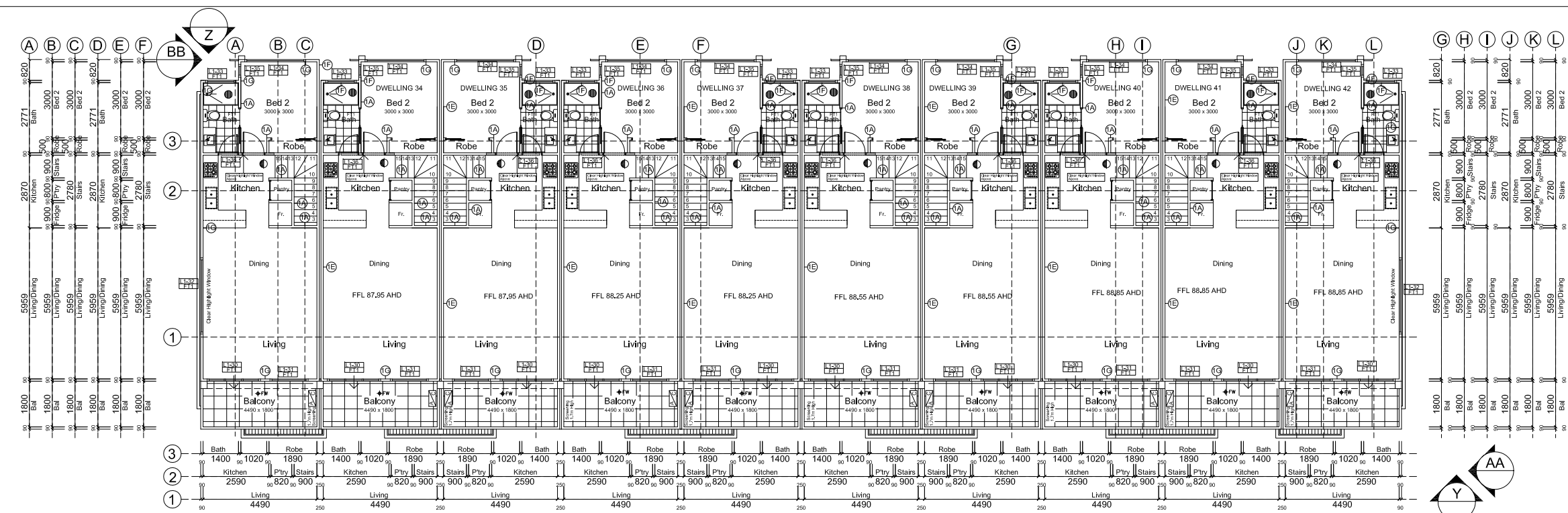
● PAGE NO. A17

● JOB NO. T-0333

NO.	DATE.	AMENDMENTS



All dimensions must be verified on site prior to commencement of work or establishment of any shop drawings. Ground dimensions must take precedence over scaled dimensions. All scaled dimensions must be verified on site.



DWELLING 33-42 FIRST FLOOR PLAN

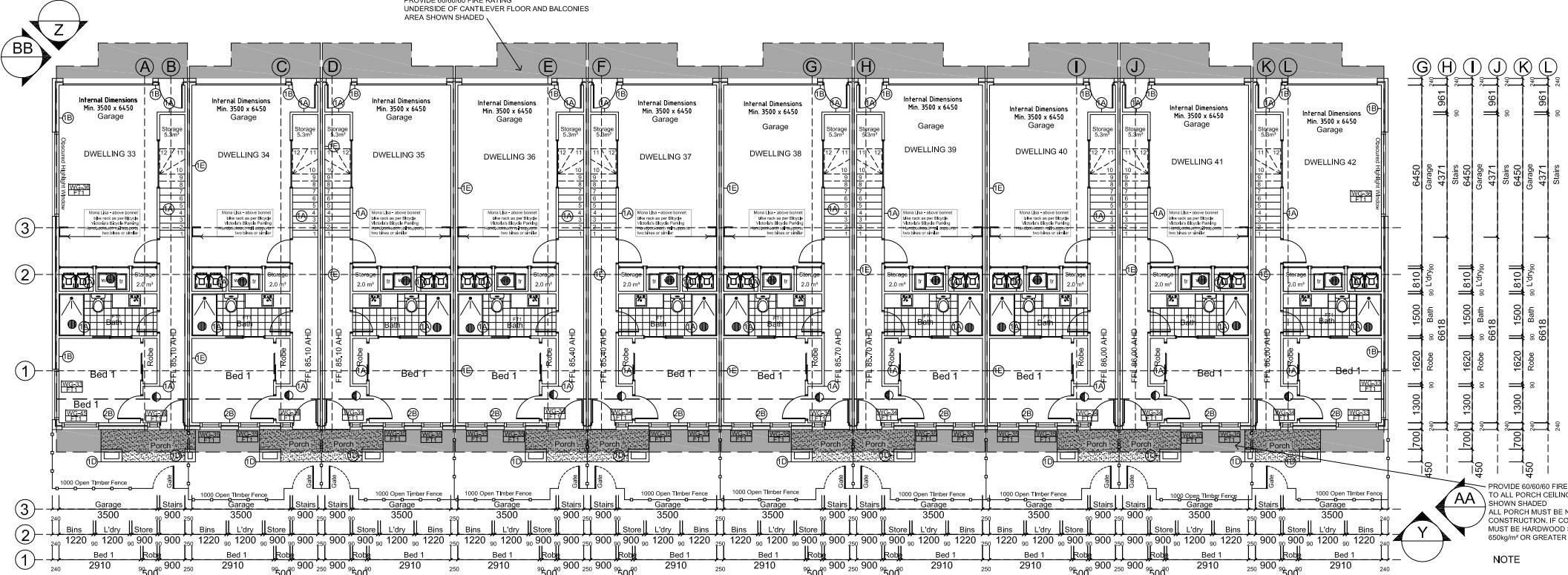
1:200 @ A3
1:100 @ A1

NOTE

ALL BALCONY CONSTRUCTION MUST USE NON COMBUSTIBLE MATERIALS

WALL TYPES

- TYPE 1A: 90 x 45mm pine studs @ 450 cts 10mm plasterboard on both sides.
- TYPE 1B: 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm plasterboard insulation as per Energy Report
- TYPE 1C: 90 x 45mm pine studwall @ 450 cts lined with insulation to achieve a minimum R1.5. Timber weatherboards externally as selected and 10mm plasterboard internally painted as selected.
- TYPE 1D: 110mm engaged brick piers
- TYPE 1E: CSR 2405 FRL60/60/60 Rw + Ctr 52. 25mm shaft liner panel. 90 x 45mm pine double studs @600cts with 10mm SUPERCHECK on both sides 88 Soundscreen 2.5 Insulation
- TYPE 1F: CSR 5612 FRL 60/60/60 Rw + Ctr 35. 90 x 45mm pine studwall @ 450 cts 16mm Fyrock PB externally James Hardie cladding externally 10mm Gyprock Sensitive PB internally painted as selected. 90 Acoustigard R2.0 insulation
- TYPE 1G: 90 x 45mm pine studwall @ 450 cts James Hardie cladding externally 10mm PB internally painted as selected. Insulation as per Energy report
- TYPE 2B: CSR 5403 FRL 60/60/60 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm GYROCK PLUS plasterboard insulation as per Energy Report



DWELLING 33-42 GROUND FLOOR PLAN

1:200 @ A3
1:100 @ A1

NOTE

PLIABLE BUILDING MEMBRANE INSTALLED IN EXTERNAL WALLS TO COMPLY WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2

DAMP PROOF COURSE TO BE (MIN) 75mm ABOVE FINISHED PAVING LEVEL IN ACCORDANCE WITH AS 3700

RAINWATER HEADS, FASCIAS, GUTTERS, DOWNPIPES AND THE LIKE WITHIN 450mm OF BOUNDARY SHALL BE NON-COMBUSTIBLE MATERIALS

AREA ANALYSIS

	Ground Floor	Garage	First Floor	P.O.S or Front Space	Balcony	Total
Dwelling 33	31 m ²	30 m ²	58 m ²	Front 12 m ²	8 m ²	139 m ²
Dwelling 34	30 m ²	29 m ²	58 m ²	Front 11 m ²	8 m ²	139 m ²
Dwelling 35	30 m ²	29 m ²	58 m ²	Front 11 m ²	8 m ²	139 m ²
Dwelling 36	30 m ²	29 m ²	58 m ²	Front 11 m ²	8 m ²	139 m ²
Dwelling 37	30 m ²	29 m ²	58 m ²	Front 11 m ²	8 m ²	139 m ²
Dwelling 38	30 m ²	29 m ²	58 m ²	Front 11 m ²	8 m ²	139 m ²
Dwelling 39	30 m ²	29 m ²	58 m ²	Front 11 m ²	8 m ²	139 m ²
Dwelling 40	30 m ²	29 m ²	58 m ²	Front 11 m ²	8 m ²	139 m ²
Dwelling 41	30 m ²	29 m ²	58 m ²	Front 11 m ²	8 m ²	139 m ²
Dwelling 42	31 m ²	30 m ²	58 m ²	Front 12 m ²	8 m ²	139 m ²

NOTE

ALL SMOKE DETECTORS TO BE MIN. 300mm AWAY FROM WALL DOOR WAY AND BULKHEAD

ALL SMOKE DETECTORS IN THE SAME UNIT TO BE INTERCONNECTED

ALL MECHANICAL EXHAUST FANS TO DUCT TO OUTSIDE AIR FLOW RATE DISCHARGE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.3

VENTILATION TO ROOF SPACE IN ACCORDANCE WITH NCC 2019 VOLUME 2 CLAUSE 3.8.7.4

NOTE

ALL EXPOSED COLUMNS AND BEAMS SUPPORTING UPPER FLOOR APPLIED WITH INTUMESCENT PAINT TO ACHIEVE FRL OF 60/60/60

GENERAL NOTES

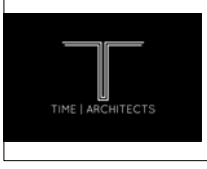
Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.

Termite treatment in accordance to AS 3660.2 (2000) and BCA 09

Gas meter to be min 500mm away from window opening

LEGEND - PLAN

- CA1 Denotes Carpet
- FB Denotes Specified Floorboard
- Denotes 065mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes.
- FT1 Denotes Specified Floor Tiles
- FT2 Denotes Specified Outdoor Floor Tiles
- CF1 Denotes Concrete Floor
- OCB Denotes Overhead Cupboard
- HWS Denotes Hot water unit
- Denotes Switchboard
- Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above)
- Denotes Specified Ceramic Toilet Suite Pan
- Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above
- Denotes Specified Smoke Detector
- Denotes 250mm dia Exhaust Fan Ducted to outside air
- Denotes Manhole
- Denotes base shower
- Denotes Space for Fridge
- Denotes Specified Dishwasher Under Sink
- Denotes Specified Stainless Steel Sink
- Denotes 0 100mm Downpipe Locations 150mm Deep Dump Rainwater Head Installed Where Required.



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- PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora
- DRAWING
- CLIENT
- ISSUED

DWELLING 33-42 FLOOR PLANS

SENOL GROUP PTY LTD

- PRELIMINARY
- TOWN PLANNING
- CONSTRUCTION
- TENDER

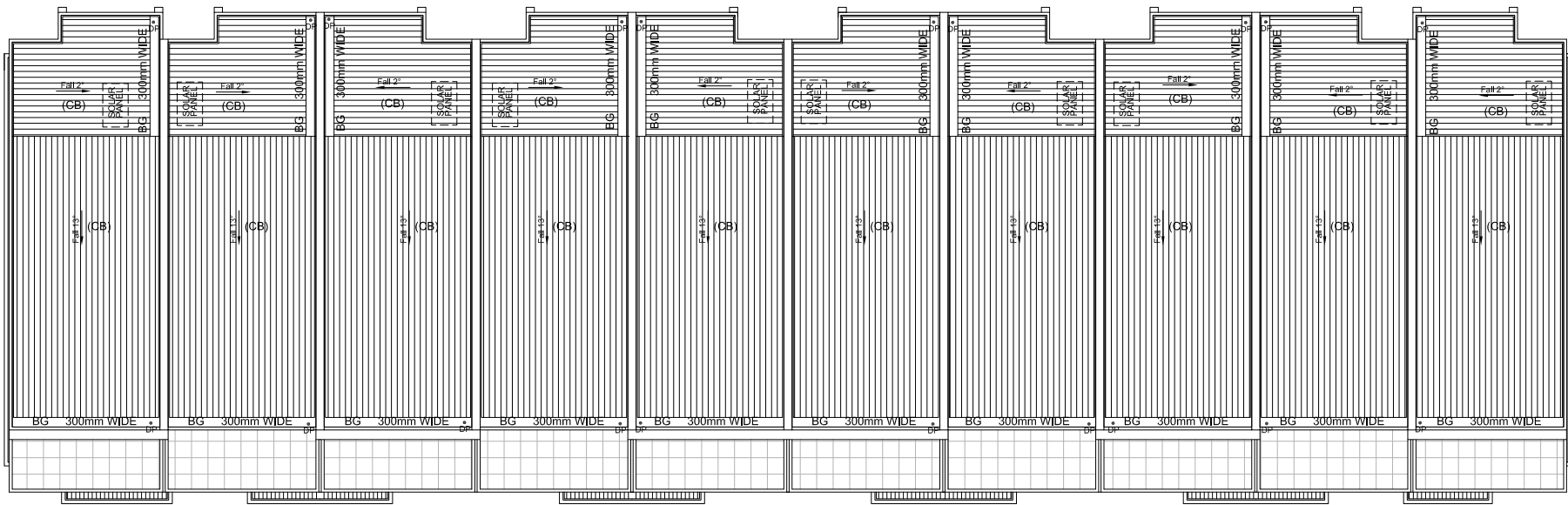


REVISION

WD-4

- DATE: February 2021
- DRAWN:
- SCALE: 1:100 (A1) 1:200 (A3)
- PAGE NO.: A18
- JOB NO.: T-0333

NO. DATE. AMENDMENTS



GENERAL NOTES

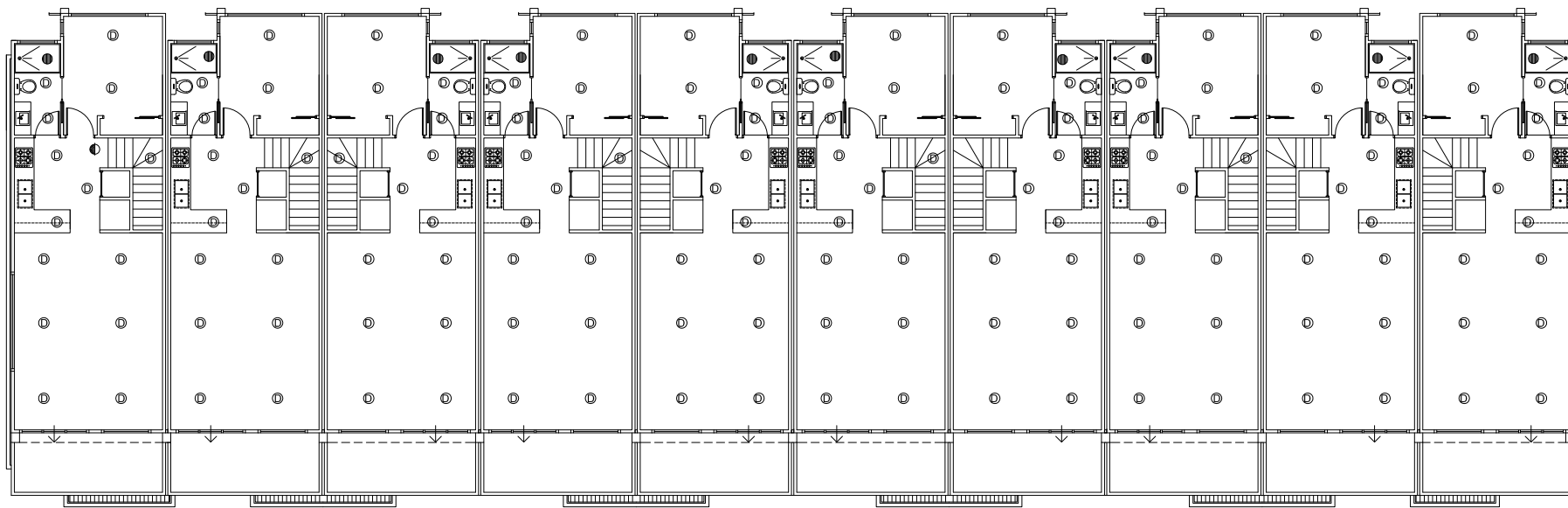
1. ROOFING MATERIAL AS SELECTED. ROOF GRADIENT TO BE AT 25° ANGLED. NO GUTTER OR PART OF WALL SHOULD ENCRoACH BEYOND PROPERTY LINE.
2. STORMWATER DRAINAGE SYSTEM SHALL BE IN ACCORDANCE TO LOCAL AUTHORITY REQUIREMENTS.
3. ALL STORMWATER TO BE DISCHARGE TO LEGAL POINT OF DISCHARGE.
4. GUTTER TO BE AS SELECTED IN COLORBOND.
5. BOX GUTTER TO BE 1.0MM ZINCALUME STEEL FORMED TO PROFILE TO SUIT ROOF FRAMING AND FALL. SUPPORT ON TIMBER FRAMING AND 19MM MARINE GRADE PLY GUTTER BOARD SET TO FALL.
6. INSTALL CAPPING AND FLASHING IN 0.6MM BMT COLORBOND MATERIAL AS REQUIRED.
7. RAINWATER TANK TO BE SELECTED SLIMLINE SERIES WATER TANK. CONNECT WATER TANK TO WC CISTERN TO MANUFACTURER'S RECOMMENDATION.

LEGEND

- (CB) SELECTED COLORBOND ROOFING
- (TL) SELECTED TILED ROOF
- (U) UPPER LEVEL ROOF
- (L) LOWER LEVEL ROOF
- CC CAPPING (FORM CAPPING TO ROOFING AS SPECIFIED)
- EG SELECTED COLORBOND EAVES GUTTER
- DP* 100MM RECTANGULAR DOWNPIPE LOCATION. 150MM DEEP SUMP RAINWATER HEAD INSTALLED WHERE REQUIRED
- BG BOX GUTTER (FORM GRADIENT DIRECT TO DOWNPIPE). PROVIDE LEAVES EXTER MESH
- FF ZINCALUME FLASHING GRADE AND DRESS TO GUIDE RAINWATER TO ROOF
- RWH RAINWATER HEAD AS SELECTED MINIMUM 500X175MM CONNECT TO ROOF GUTTER. SET TO BOX GUTTER FALL TO RAINWATER HEAD.
- SM SUMP TO SUIT BOX GUTTER (DIRECT TO LOWER ROOF)
- ↓ DENOTES DIRECTION OF ROOF FALL WITH SPECIFIED GRADIENT

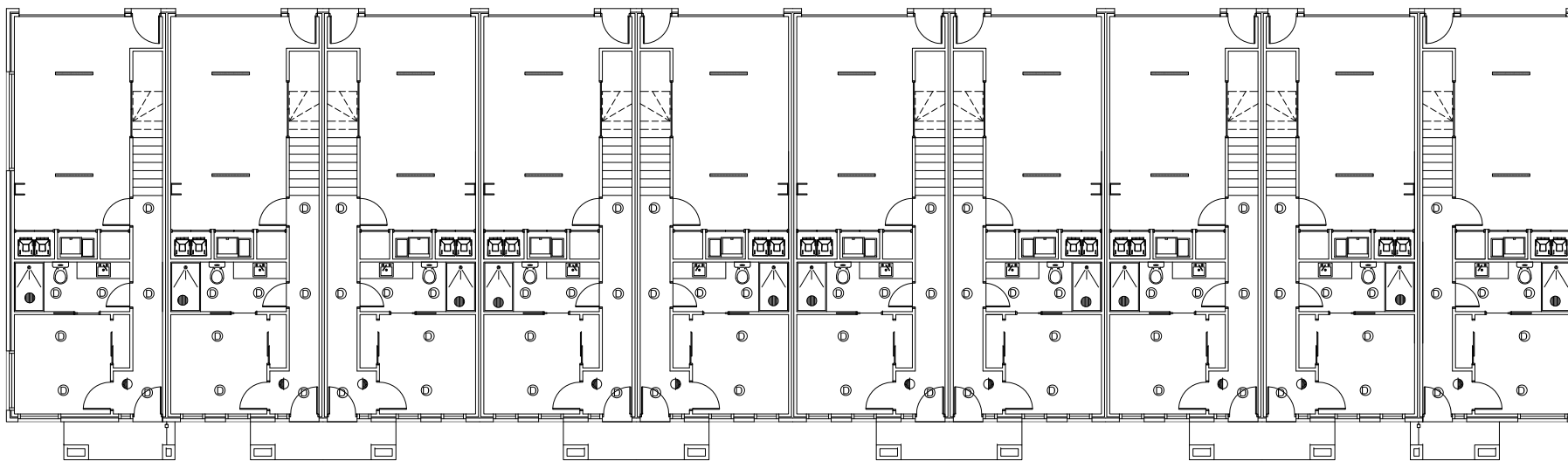
DWELLING 33-42 ROOF PLAN

1:200 @ A3
1:100 @ A1



DWELLING 33-42 FIRST FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1



DWELLING 33-42 GROUND FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1

- | SYMBOL | DESCRIPTION |
|--------|--|
| | LIGHT SWITCH |
| | TWO WAY LIGHTING SWITCH |
| | LIGHTING SWITCHING/CONTROL WIRING |
| | MAIN SWITCHBOARD |
| | DISTRIBUTION SWITCHBOARD |
| | TELEPHONE OUTLET |
| | TELEVISION OUTLET |
| | DOUBLE GPO |
| | SINGLE GPO |
| | SINGLE GPO-CEILING MOUNTED |
| | EXTERNAL DOUBLE GPO |
| | EXTERNAL LIGHT - WALL MOUNTED |
| | INCANDESCENT BULB |
| | HOT WATER STORAGE TANK (IF APPLICABLE) |
| | DOMESTIC SMOKE ALARM |
| | FAN LIGHT DUCTED TO EXTERNAL AIR |
| | RECESSED DOWNLIGHT - 20 Watts |
| | EXTERIOR WALL LIGHT POINT OUTLET |
| | FLUORESCENT LIGHT |
| | ROLLER DOOR MOTOR |

- | SYMBOL | DESCRIPTION |
|--------|--|
| | LIGHT SWITCH |
| | TWO WAY LIGHTING SWITCH |
| | LIGHTING SWITCHING/CONTROL WIRING |
| | MAIN SWITCHBOARD |
| | DISTRIBUTION SWITCHBOARD |
| | TELEPHONE OUTLET |
| | TELEVISION OUTLET |
| | DOUBLE GPO |
| | SINGLE GPO |
| | SINGLE GPO-CEILING MOUNTED |
| | EXTERNAL DOUBLE GPO |
| | EXTERNAL LIGHT - WALL MOUNTED |
| | INCANDESCENT BULB |
| | HOT WATER STORAGE TANK (IF APPLICABLE) |
| | DOMESTIC SMOKE ALARM |
| | FAN LIGHT DUCTED TO EXTERNAL AIR |
| | RECESSED DOWNLIGHT - 20 Watts |
| | EXTERIOR WALL LIGHT POINT OUTLET |
| | FLUORESCENT LIGHT |
| | ROLLER DOOR MOTOR |

UNIT No.	Total Watts Usage Proposed (Excluding garage)	Total Watts Usage Proposed (Including garage)	Total Watts Usage Allowed (Garage only)	Total Watts Usage Proposed (Garage only)
DWELLING 33	445w	420w	90w	30w
DWELLING 34	440w	420w	87w	30w
DWELLING 35	440w	420w	87w	30w
DWELLING 36	440w	420w	87w	30w
DWELLING 37	440w	420w	87w	30w
DWELLING 38	440w	420w	87w	30w
DWELLING 39	440w	420w	87w	30w
DWELLING 40	440w	420w	87w	30w
DWELLING 41	440w	420w	87w	30w
DWELLING 42	445w	320w	90w	30w

LEGEND - PLAN

- | | | | | |
|-----|---|--|--|---|
| CA1 | Denotes Carpet | HWS | Denotes Hot water unit | Denotes Manhole |
| FB | Denotes Specified Floorboard | Switchboard | Denotes Switchboard | Denotes base shower |
| ** | Denotes Ø65mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes. | Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above) | Denotes Specified Ceramic Toilet Suite Pan | Denotes Space for Fridge |
| FT1 | Denotes Specified Floor Tiles | Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above | Denotes Specified Smoke Detector | Denotes Specified Dishwasher Under Sink |
| FT2 | Denotes Specified outdoor Floor Tiles | Denotes 250mm dia Exhaust Fan Ducted to outside air | | Denotes Specified Stainless Steel Sink |
| CF1 | Denotes Concrete Floor | | | Denotes Ø 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required. |
| OCB | Denotes Overhead Cupboard | | | |



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● PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

● DRAWING

● CLIENT

● ISSUED

DWELLING 33-42 LIGHTING PLANS

SENOL GROUP PTY LTD

○ PRELIMINARY ○ TOWN PLANNING ● CONSTRUCTION ○ TENDER



● DATE February 2021

● DRAWN

● SCALE 1:100 (A1) 1:200 (A3)

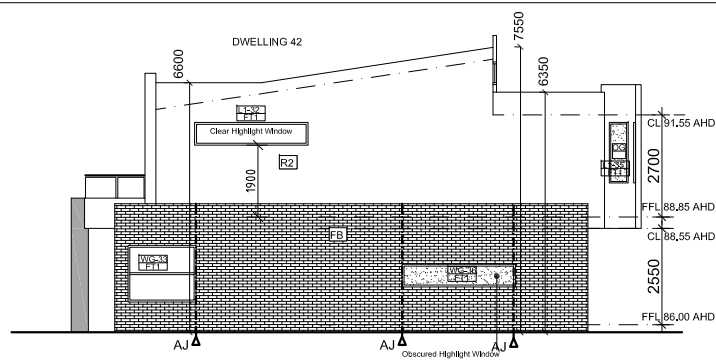
● PAGE NO. A19

● JOB NO. T-0333

NO. DATE. AMENDMENTS

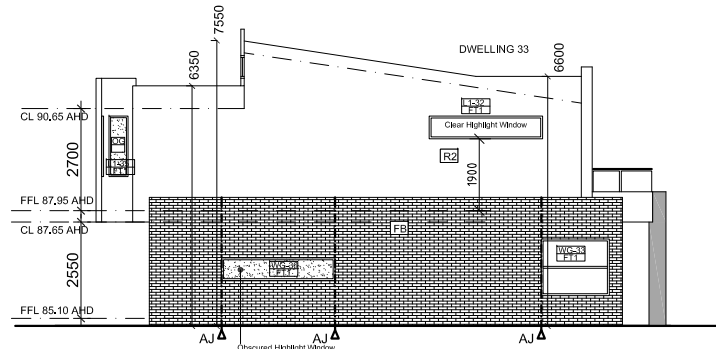
REVISION

WD-4



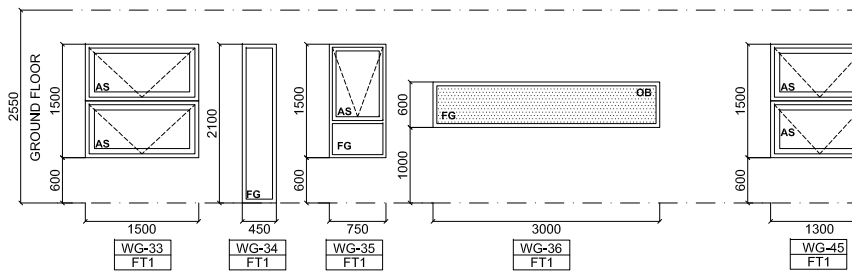
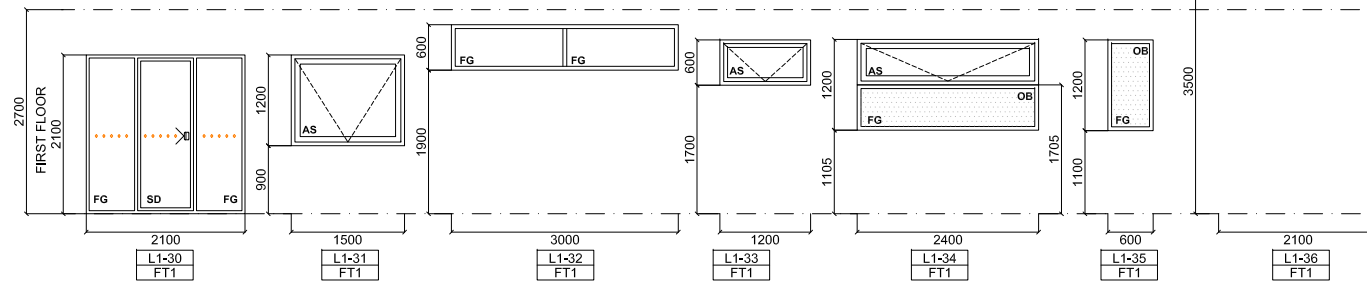
Dwelling 42 ELEVATION AA

1:200 @ A2
1:100 @ A0



Dwelling 33 ELEVATION BB

1:200 @ A2
1:100 @ A0



WINDOW SCHEDULE

1:100 @ A3
1:50 @ A1

LEGEND

- FB Face Brick
- HC Horizontal Cladding - Dark Grey
- R1 Rendered Finish - Light Render
- R2 Rendered Finish - Dark Render
- VC Vertical Cladding - Dark Render
- ED Entry Door - Dark Grey
- CG Clear Glazing - Dark Aluminium Frame
- OG Obscure Glazing - Up to 1.7m High above FF Dark Aluminium Frame
- CB Clear Glass Balustrade
- OB Obscure Glass Balustrade
- PS Plantation Shutters (Internal) - White
- GD Garage Door - Sectional Grille - Dark Colour
- RT Roof Tile - Dark Colour
- MR Metal Roofing - Dark Colour
- FF Metal Picket/Blade Front Fence - Dark Colour
- BF Timber Palling Boundary Fence

LEGEND - ELEVATIONS

- AJA ARTICULATION JOINT
- I WEEPHOLES

NOTES

- PROVIDE 10MM WIDE ARTICULATION JOINT FILLED WITH 75x10MM FORM BACKING STRIP AND CAULKING TO EXTERNAL FACE AS PER BCA STANDARDS.
- PROVIDE CAVITY FLASHING OUT TO WEEPHOLES @ EVERY 4TH BRICK PREPEND OR 1.2METRE CENTRES. PROVIDE GALVANISED LINTEL ABOVE.
- PROVIDE TOP AND BOTTOM WEEPHOLES TO WINDOW AND OPENINGS AS SHOWN.

NOTES - WINDOWS

- ALL WINDOWS, LOUVRE & DOORS ARE TO BE VIEWED EXTERNALLY UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR FABRICATION.
- ALL DIMENSIONS TO STRUCTURAL OPENINGS TO BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION.
- WINDOW & DOOR PANELS SHALL BE EQUALLY SPACED UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH AS.1288 AND AS.2047.
- SAMPLES OF ALL GLASS TO BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURE OF WINDOWS.
- ALL EXTERNAL GLAZED DOORS TO BE PROVIDED WITH FULL PERIMETER SEAL.
- ALL EXTERNAL HINGED DOORS OPENINGS WINDOWS SASHES TO BE FITTED WITH DRAFT PROOF SEALS.
- ALL EXHAUST FANS TO BE DUCTED AND SEALED GAPS BETWEEN WINDOW AND DOOR FRAME AND THE BUILDING FABRIC TO BE SEALED.
- ALL SUB-SILLS TO HAVE END CPAS AND TO BE SEALED WATER TIGHT.

GENERAL NOTES

Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.

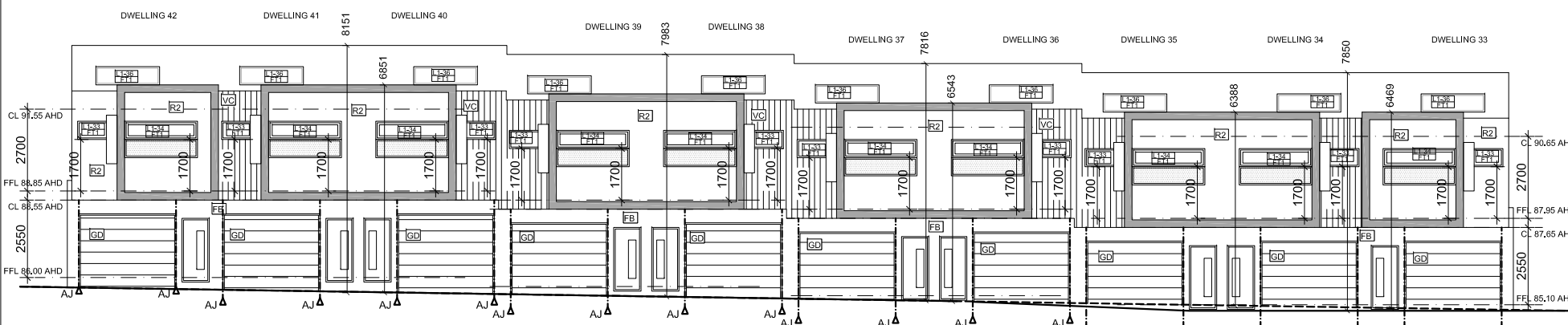
Termite treatment in according to AS 3660.2 (2000) and BCA 09

Gas meter to be min 500mm away from window opening



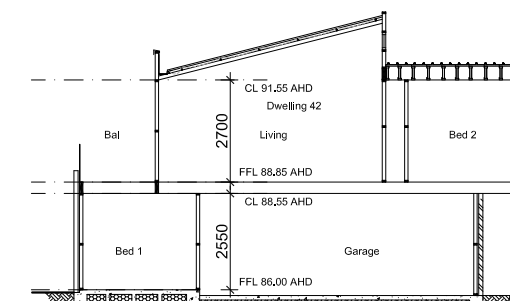
Dwelling 33 - 42 ELEVATION Y

1:200 @ A2
1:100 @ A0



Dwelling 33 - 42 ELEVATION Z

1:200 @ A2
1:100 @ A0



DWELLING 42 SECTION Y-Y

1:200 @ A3
1:100 @ A1

LEGEND - PLAN

- | | | |
|---|--|---|
| CA1 Denotes Carpet | Denotes Hot water unit | Denotes Manhole |
| FB Denotes Specified Floorboard | Denotes Switchboard | Denotes base shower |
| Denotes Ø65mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes. | Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above) | Denotes Space for Fridge |
| FT1 Denotes Specified Floor Tiles | Denotes Specified Ceramic Toilet Suite Pan | Denotes Specified Dishwasher Under Sink |
| FT2 Denotes Specified outdoor Floor Tiles | Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above | Denotes Specified Stainless Steel Sink |
| CF1 Denotes Concrete Floor | Denotes Specified Smoke Detector | Denotes Ø 100mm Downpipe Locations 150mm Deep Dump Rainwater Head Installed Where Required. |
| OCB Denotes Overhead Cupboard | Denotes 250mm dia Exhaust Fan Ducted to outside air | |



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All dimensions must be verified on site prior to commencement of work or establishment of any floor drainage. Square dimensions must take precedence over scaled dimensions. All scaled dimensions must be verified on site.

● PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

● DRAWING

● CLIENT

● ISSUED

DWELLING 29-32 ELEVATIONS/SECTION/WINDOW SCHEDULE

SENOL GROUP PTY LTD

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● DATE February 2021

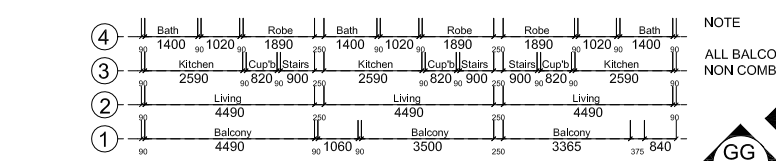
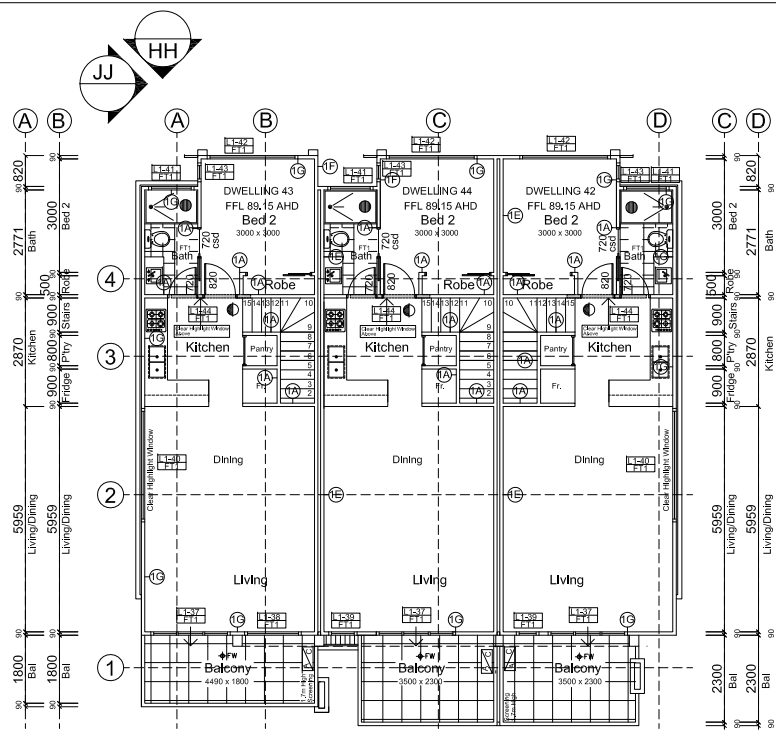
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● SCALE 1:100 (A1) 1:200 (A3)

● PAGE NO. A20

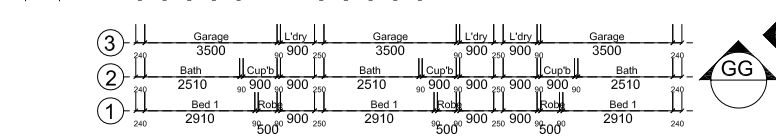
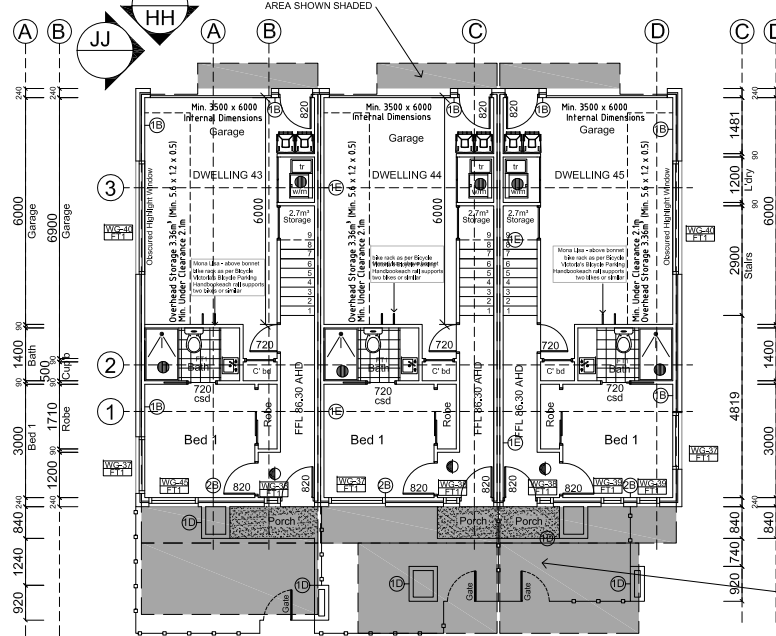
● JOB NO. T-0333

NO.	DATE.	AMENDMENTS



DWELLING 43-45 FIRST FLOOR PLAN

1:200 @ A3
1:100 @ A1



DWELLING 43-45 GROUND FLOOR PLAN

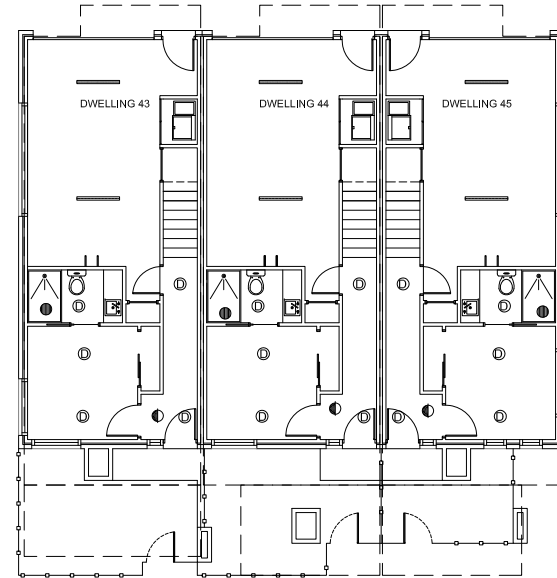
1:200 @ A3
1:100 @ A1

AREA ANALYSIS

	Ground Floor	Garage	First Floor	P.O.S or Front Space	Balcony	Total
Dwelling 43	25 m ²	29 m ²	58 m ²	Front 16 m ²	8 m ²	136 m ²
Dwelling 44	25 m ²	28 m ²	58 m ²	Front 15 m ²	8 m ²	134 m ²
Dwelling 45	25 m ²	29 m ²	58 m ²	Front 12 m ²	8 m ²	132 m ²

DWELLING 43-45 FIRST FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1



DWELLING 43-45 GROUND FLOOR LIGHTING PLAN

1:200 @ A3
1:100 @ A1

UNIT No.

UNIT No.	Total Warts Usage Allowed (Excluding garage)	Total Warts Usage Proposed (Excluding garage)	Total Warts Usage Allowed (Garage only)	Total Warts Usage Proposed (Garage only)
DWELLING 43	415w	380w	87w	30w
DWELLING 44	415w	380w	84w	30w
DWELLING 45	415w	380w	87w	30w

WALL TYPES

- TYPE 1A: 90 x 45mm pine studs @ 450 cts 10mm plasterboard on both sides.
- TYPE 1B: 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm plasterboard insulation as per Energy Report
- TYPE 1C: 90 x 45mm pine studwall @ 450 cts lined with insulation to achieve a minimum R1.5. Timber weatherboards externally as selected and 10mm plasterboard internally painted as selected.
- TYPE 1D: 110mm engaged brick piers
- TYPE 1E: CSR 2405 FRL60/60/60 Rw + Ctr 52. 25mm shaft liner panel. 90 x 45mm pine double studs @ 600 cts with 10mm SUPERCHECK on both sides 88 Soundscreen 2.5 Insulation
- TYPE 1F: CSR 5612 FRL 60/60/60 Rw + Ctr 35. 90 x 45mm pine studwall @ 450 cts 16mm Fyrock PB externally James Hardie cladding externally 10mm Gyprock Sensitive PB internally painted as selected. 90 Acoustigard R2.0 insulation
- TYPE 1G: 90 x 45mm pine studwall @ 450 cts James Hardie cladding externally 10mm PB internally painted as selected. Insulation as per Energy report
- TYPE 2B: CSR 5403 FRL 60/60/60 110 brickwork 90 x 45mm Pine Studs @ 450 cts. 10mm GYROCK PLUS plasterboard insulation as per Energy Report

- SYMBOL DESCRIPTION**
- [Symbol] LIGHT SWITCH
 - [Symbol] TWO WAY LIGHTING SWITCH
 - [Symbol] LIGHTING SWITCHING/CONTROL WIRING
 - [Symbol] MAIN SWITCHBOARD
 - [Symbol] DISTRIBUTION SWITCHBOARD
 - [Symbol] TELEPHONE OUTLET
 - [Symbol] TELEVISION OUTLET
 - [Symbol] DOUBLE GPO
 - [Symbol] SINGLE GPO
 - [Symbol] SINGLE GPO-CEILING MOUNTED
 - [Symbol] EXTERNAL DOUBLE GPO
 - [Symbol] EXTERNAL LIGHT - WALL MOUNTED
 - [Symbol] INCANDESCENT BULB
 - [Symbol] HOT WATER STORAGE TANK (IF APPLICABLE)
 - [Symbol] DOMESTIC SMOKE ALARM
 - [Symbol] FAN LIGHT DUCTED TO EXTERNAL AIR
 - [Symbol] RECESSED DOWNLIGHT - 20 Wats
 - [Symbol] EXTERIOR WALL LIGHT POINT OUTLET
 - [Symbol] FLUORESCENT LIGHT
 - [Symbol] ROLLER DOOR MOTOR

GENERAL NOTES

Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.

Termite treatment in accordance to AS 3660.2 (2000) and BCA 09

Gas meter to be min 500mm away from window opening

LEGEND - PLAN

- | | | |
|---|---|---|
| CA1 Denotes Carpet | Denotes Hot water unit | Denotes Manhole |
| FB Denotes Specified Floorboard | Denotes Switchboard | Denotes base shower |
| Denotes 065mm Floor Wastes (Balconies and Bathrooms) Grade Floor Tiles to Floor Wastes. | Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with slide out rangehood above) | Denotes Space for Fridge |
| FT1 Denotes Specified Floor Tiles | Denotes Specified Ceramic Toilet Suite Pan | Denotes Specified Dishwasher Under Sink |
| FT2 Denotes Specified outdoor Floor Tiles | Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above | Denotes Specified Stainless Steel Sink |
| CF1 Denotes Concrete Floor | Denotes Specified Smoke Detector | Denotes 0 100mm Downpipe Locations 150mm Deep Bump Rainwater Head Installed Where Required. |
| OCB Denotes Overhead Cupboard | Denotes 250mm dia Exhaust Fan Ducted to outside air | |

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PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

DWELLING 43-45 FLOOR PLANS

SENOL GROUP PTY LTD

REVISION: WD-4

DATE: February 2021

DRAWN: [Name]

SCALE: 1:100 (A1) 1:200 (A3)

PAGE NO.: A21

JOB NO.: T-0333

LEGEND: PRELIMINARY, TOWN PLANNING, CONSTRUCTION, TENDER

NO.	DATE.	AMENDMENTS

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PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

DWELLING 43-45 FLOOR PLANS

SENOL GROUP PTY LTD

REVISION: WD-4

DATE: February 2021

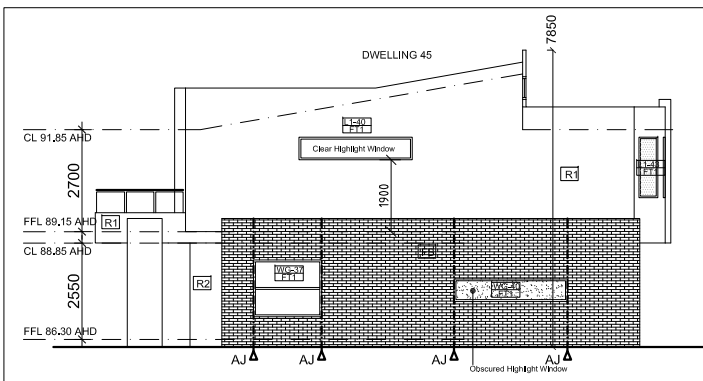
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SCALE: 1:100 (A1) 1:200 (A3)

PAGE NO.: A21

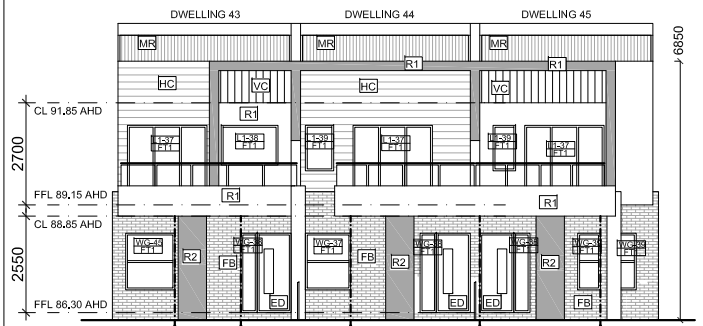
JOB NO.: T-0333

LEGEND: PRELIMINARY, TOWN PLANNING, CONSTRUCTION, TENDER



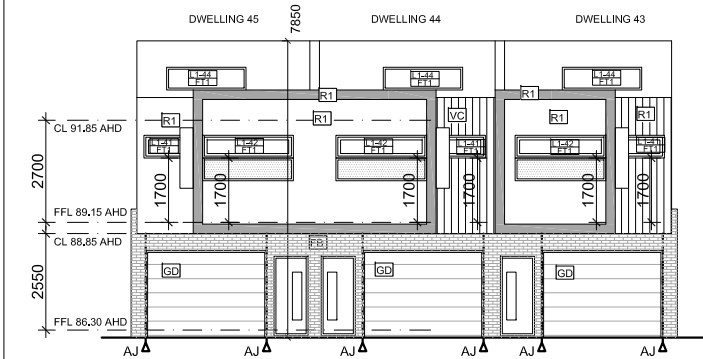
Dwelling 45 ELEVATION II)

1:200 @ A2
1:100 @ A0



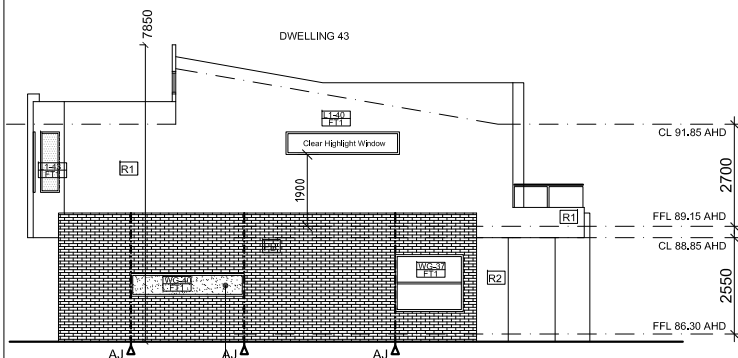
Dwelling 43-45 ELEVATION GG)

1:200 @ A2
1:100 @ A0



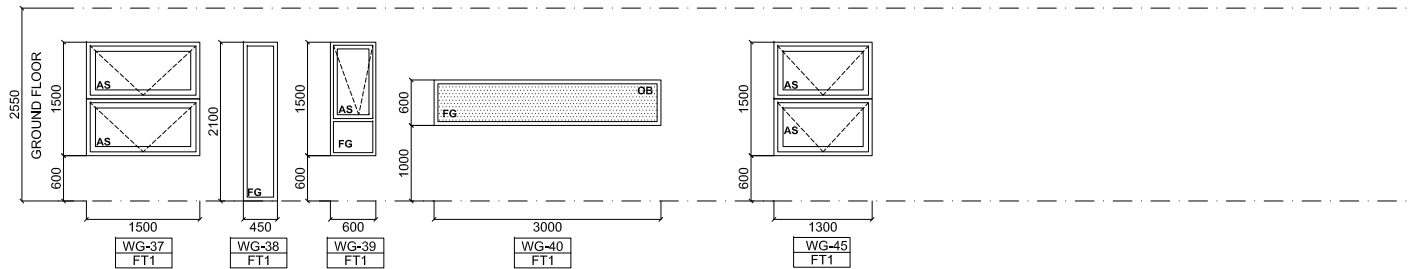
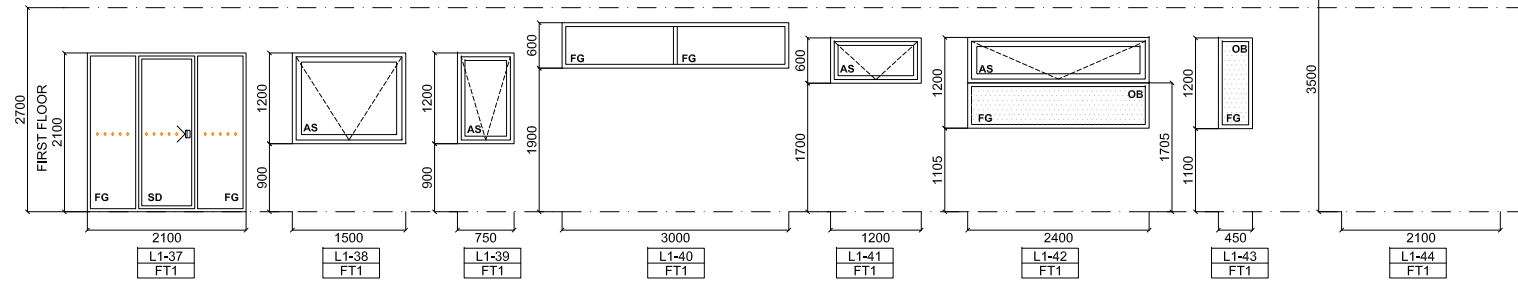
Dwelling 43-45 ELEVATION HH)

1:200 @ A2
1:100 @ A0



Dwelling 43 ELEVATION JJ)

1:200 @ A2
1:100 @ A0



WINDOW SCHEDULE

1:100 @ A3
1:50 @ A1

LEGEND

- FB Face Brick
- HC Horizontal Cladding - Dark Grey
- R1 Rendered Finish - Light Render
- R2 Rendered Finish - Dark Render
- VC Vertical Cladding - Dark Render
- ED Entry Door - Dark Grey
- CG Clear Glazing - Dark Aluminium Frame
- OG Obscure Glazing - Up to 1.7m High above FF Dark Aluminium Frame
- CB Clear Glass Balustrade
- OB Obscure Glass Balustrade
- PS Plantation Shutters (Internal) - White
- GD Garage Door - Sectional Grille - Dark Colour
- RT Roof Tile - Dark Colour
- MR Metal Roofing - Dark Colour
- FF Metal Picket/Blade Front Fence - Dark Colour
- BF Timber Palling Boundary Fence

LEGEND - ELEVATIONS

- AJ▲ ARTICULATION JOINT
- | WEEPHOLES

NOTES

PROVIDE 10MM WIDE ARTICULATION JOINT FILLED WITH 75x10MM FORM BACKING STRIP AND CAULKING TO EXTERNAL FACE AS PER BCA STANDARDS.

PROVIDE CAVITY FLASHING OUT TO WEEPHOLES @ EVERY 4TH BRICK PREPEND OR 1.2METRE CENTRES. PROVIDE GALVANISED LINTEL ABOVE.

PROVIDE TOP AND BOTTOM WEEPHOLES TO WINDOW AND OPENINGS AS SHOWN.

NOTES - WINDOWS

ALL WINDOWS, LOUVRE & DOORS ARE TO BE VIEWED EXTERNALLY UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR FABRICATION. ALL DIMENSIONS TO STRUCTURAL OPENINGS TO BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION. WINDOW & DOOR PANELS SHALL BE EXQUALLY SPACED UNLESS NOTED OTHERWISE. ALL GLAZING TO COMPLY WITH AS.1288 AND AS.2047. SAMPLES OF ALL GLASS TO BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURE OF WINDOWS. ALL EXTERNAL GLAZED DOORS TO BE PROVIDED WITH FULL PERIMETER SEAL. ALL EXTERNAL HINGED DOORS OPENINGS WINDOWS SASHES TO BE FITTED WITH DRAFT PROOF SEALS. ALL EXHAUST FANS TO BE DUCTED AND SEALED GAPS BETWEEN WINDOW AND DOOR FRAME AND THE BUILDING FABRIC TO BE SEALED. ALL SUB-SILLS TO HAVE END CPAS AND TO BE SEALED WATER TIGHT.

GENERAL NOTES

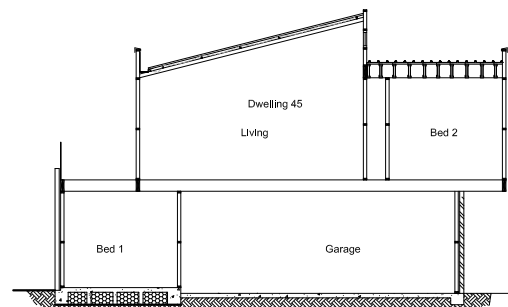
Provide removable hinges from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within sanitary compartment and the nearest part of the doorway.

Termite treatment in according to AS 3660.2 (2000) and BCA 09

Gas meter to be min 500mm away from window opening

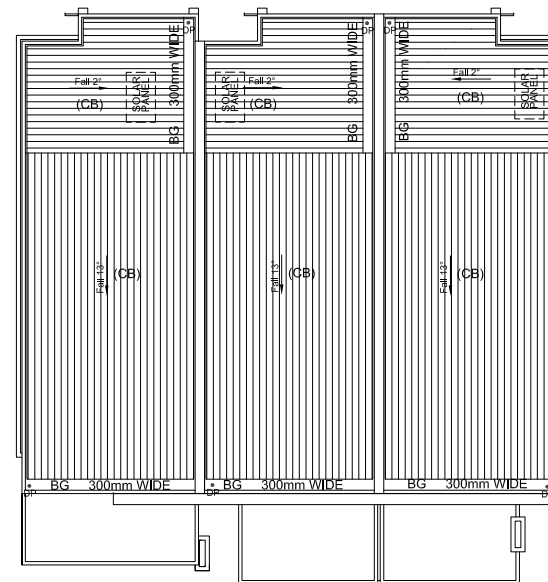
GENERAL NOTES

1. ROOFING MATERIAL AS SELECTED, ROOF GRADIENT TO BE AT 25° ANGLED. NO GUTTER OR PART OF WALL SHOULD ENCRACH BEYOND PROPERTY LINE.
2. STORMWATER DRAINAGE SYSTEM SHALL BE IN ACCORDANCE TO LOCAL AUTHORITY REQUIREMENTS.
3. ALL STORMWATER TO BE DISCHARGE TO LEGAL POINT OF DISCHARGE.
4. GUTTER TO BE AS SELECTED IN COLORBOND.
5. BOX GUTTER TO BE 1.0MM ZINCALUME STEEL FORMED TO PROFILE TO SUIT ROOF FRAMING AND FALL. SUPPORT ON TIMBER FRAMING AND 19MM MARINE GRADE PLY GUTTER BOARD SET TO FALL.
6. INSTALL CAPPING AND FLASHING IN 0.6MM BMT COLORBOND MATERIAL AS REQUIRED.
7. RAINWATER TANK TO BE SELECTED SLIMLINE SERIES WATER TANK. CONNECT WATER TANK TO WC CISTERN TO MANUFACTURER'S RECOMMENDATION.



DWELLING 45 SECTION Y-Y

1:200 @ A3
1:100 @ A1

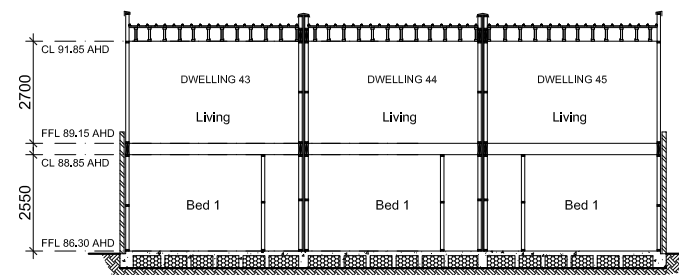


DWELLING 43-45 ROOF PLAN

1:200 @ A3
1:100 @ A1

LEGEND

- (CB) SELECTED COLORBOND ROOFING
- (TL) SELECTED TILED ROOF
- (U) UPPER LEVEL ROOF
- (L) LOWER LEVEL ROOF
- CC CAPPING (FORM CAPPING TO ROOFING AS SPECIFIED)
- EG SELECTED COLORBOND EAVES GUTTER
- DP 100MM RECTANGULAR DOWNPIPE LOCATION. 150MM DEEP SUMP RAINWATER HEAD INSTALLED WHERE REQUIRED
- BG BOX GUTTER (FORM GRADIENT DIRECT TO DOWNPIPE). PROVIDE LEAVES EATER MESH
- FF ZINCALUME FLASHING GRADE AND DRESS TO GUIDE RAINWATER TO ROOF
- RWH RAINWATER HEAD AS SELECTED (MINIMUM 250x175MM) CONNECT TO ROOF GUTTER. SET TO BOX GUTTER FALL TO RAINWATER HEAD.
- SM SUMP TO SUIT BOX GUTTER (DIRECT TO LOWER ROOF)
- DN DENOTES DIRECTION OF ROOF FALL WITH SPECIFIED GRADIENT



Dwelling 43-45 SECTION X-X

1:200 @ A3
1:100 @ A1

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● PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

● DRAWING

● CLIENT

● ISSUED

DWELLING 43-45 ELEVATIONS/SECTION/WINDOW SCHEDULE

SENOL GROUP PTY LTD

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● DATE February 2021

● DRAWN

● SCALE 1:100 (A1) 1:200 (A3)

● PAGE NO. A22

● JOB NO. T-0333

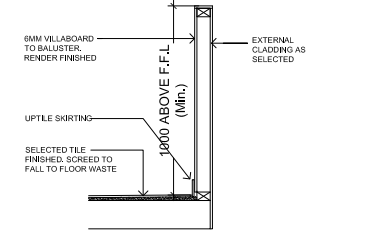
NO.	DATE.	AMENDMENTS

LEGEND - PLAN

- | | | |
|---|--|---|
| CA1 Denotes Carpet | Denotes Hot water unit | Denotes Manhole |
| FB Denotes Specified Floorboard | Denotes Switchboard | Denotes base shower |
| Denotes Ø65mm Floor Wastes (Balconies & Bathrooms) Grade Floor Tiles to Floor Wastes. | Denotes Specified Stainless Steel Cooktop and Under Bench Oven (with sink out rangehood above) | Denotes Space for Fridge |
| FT1 Denotes Specified Floor Tiles | Denotes Specified Ceramic Toilet Suite Pan | Denotes Specified Dishwasher Under Sink |
| FT2 Denotes Specified outdoor Floor Tiles | Denotes Specified Timber Vanity Unit with Specified Ceramic Bowl Above | Denotes Specified Stainless Steel Sink |
| CF1 Denotes Concrete Floor | Denotes Specified Smoke Detector | Denotes Ø 100mm Downpipe Locations 150mm Deep Sump Rainwater Head Installed Where Required. |
| OCB Denotes Overhead Cupboard | Denotes 250mm dia Exhaust Fan Ducted to outside air | |

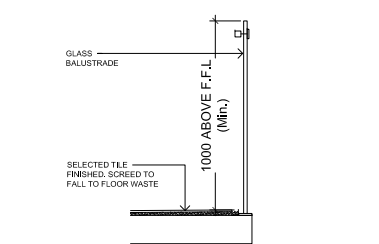
BALUSTRADE DETAIL (TYPICAL)

Scale: 1:20(A1) or 1:40 (A3)



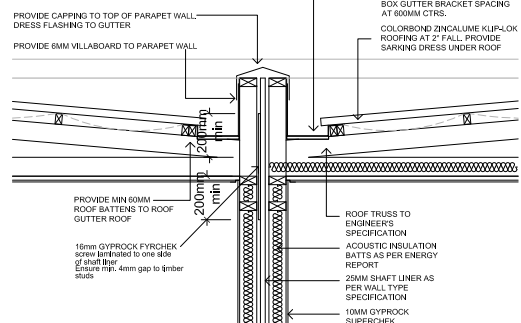
GLASS BALUSTRADE DETAIL (TYPICAL)

Scale: 1:20(A1) or 1:40 (A3)



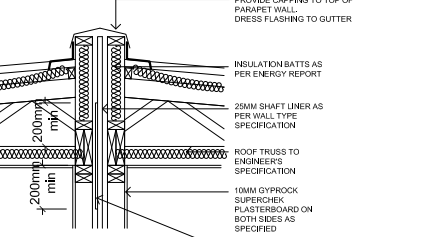
DETAIL A

Scale: 1:20(A1) or 1:40 (A3)



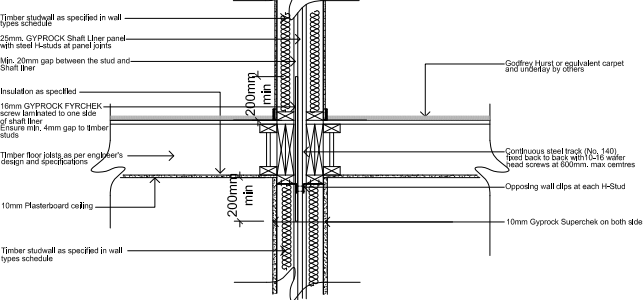
DETAIL C

Scale: 1:20(A1) or 1:40 (A3)



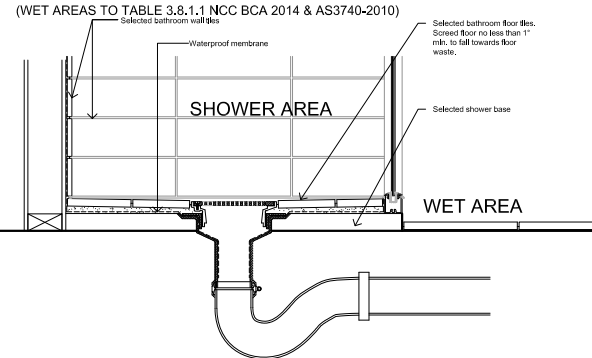
DETAIL B

Scale: 1:20(A1) or 1:40 (A3)



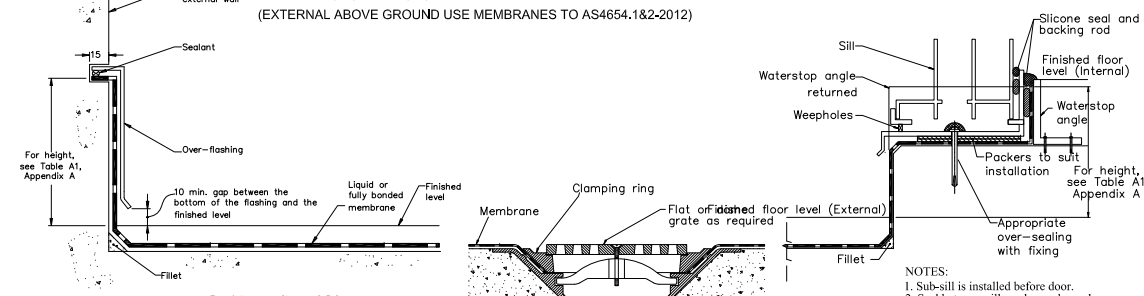
WET AREA WATERPROOF DETAIL (TYPICAL)

Scale: 1:20(A1) or 1:40 (A3)



BALCONY WATERPROOF DETAIL (TYPICAL)

Scale: 1:20(A1) or 1:40 (A3)

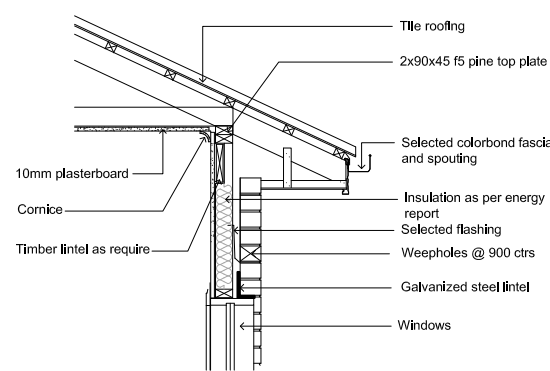


NOTES:
1. Sub-sill is installed before door.
2. Seal between sill, packer and membrane before drilling fixing holes.

2.10 DRAINS
The membrane shall be connected to the stormwater drainage system through a turn down of the membrane into the inlet of the system as shown in Figure 2.15.
An alternative connection may have a flange to which the membrane is clamped or attached (see Note 1).
To minimize blockage from debris, the drain shall have a sump, inlet pit, grate or cage.
NOTES:
1 The flange may be part of the inlet to the stormwater system or a separate item fitted on site.
2 Where the finished surface is above the level of the membrane, a variable level inlet or grate is used to provide surface drainage.
3 The variable level inlet should allow sub-surface drainage at the membrane level.

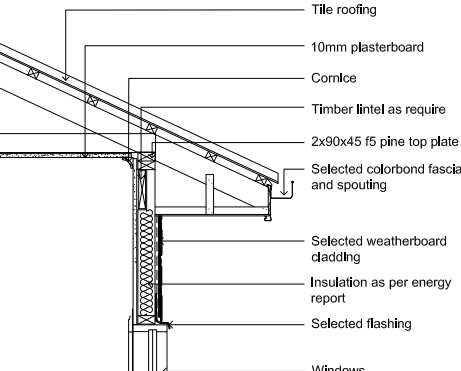
DETAIL - E

1:40 @ A3
1:20 @ A1



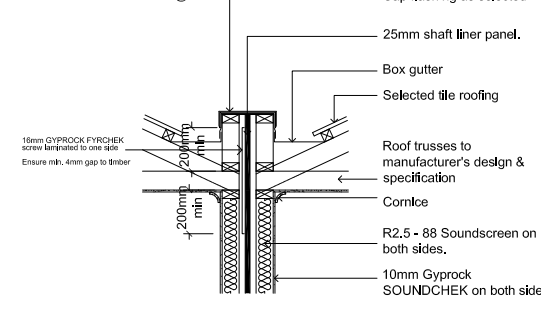
DETAIL - F

1:40 @ A3
1:20 @ A1



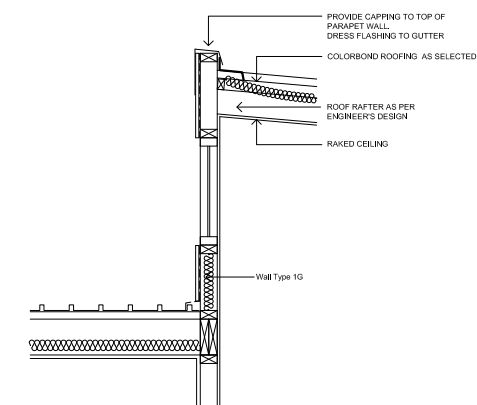
DETAIL - G

1:40 @ A3
1:20 @ A1



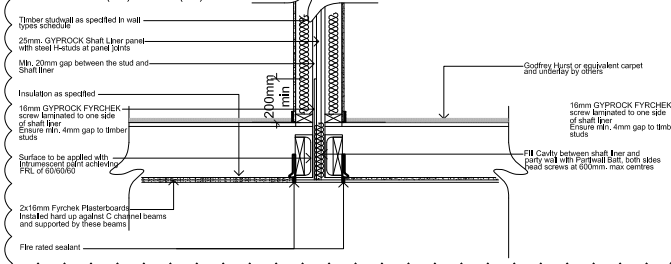
DETAIL F

Scale: 1:20(A1) or 1:40 (A3)



FIRE RATED CEILING DETAIL

Scale: 1:20(A1) or 1:40 (A3)



TIME ARCHITECTS

145-145 Leicester Street, Carlton 3053
www.timearchitects.com.au
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All dimensions must be verified on site prior to commencement of work or establishment of any shop drawings. Square dimensions must take precedence over scaled dimensions. All scaled dimensions must be verified on site.

PROPOSED MEDIUM DENSITY HOUSING AT 1A Tamar Street, Bundoora

- DRAWING
- CLIENT
- ISSUED

DETAILS

SENOL GROUP PTY LTD

- PRELIMINARY
- TOWN PLANNING
- CONSTRUCTION
- TENDER

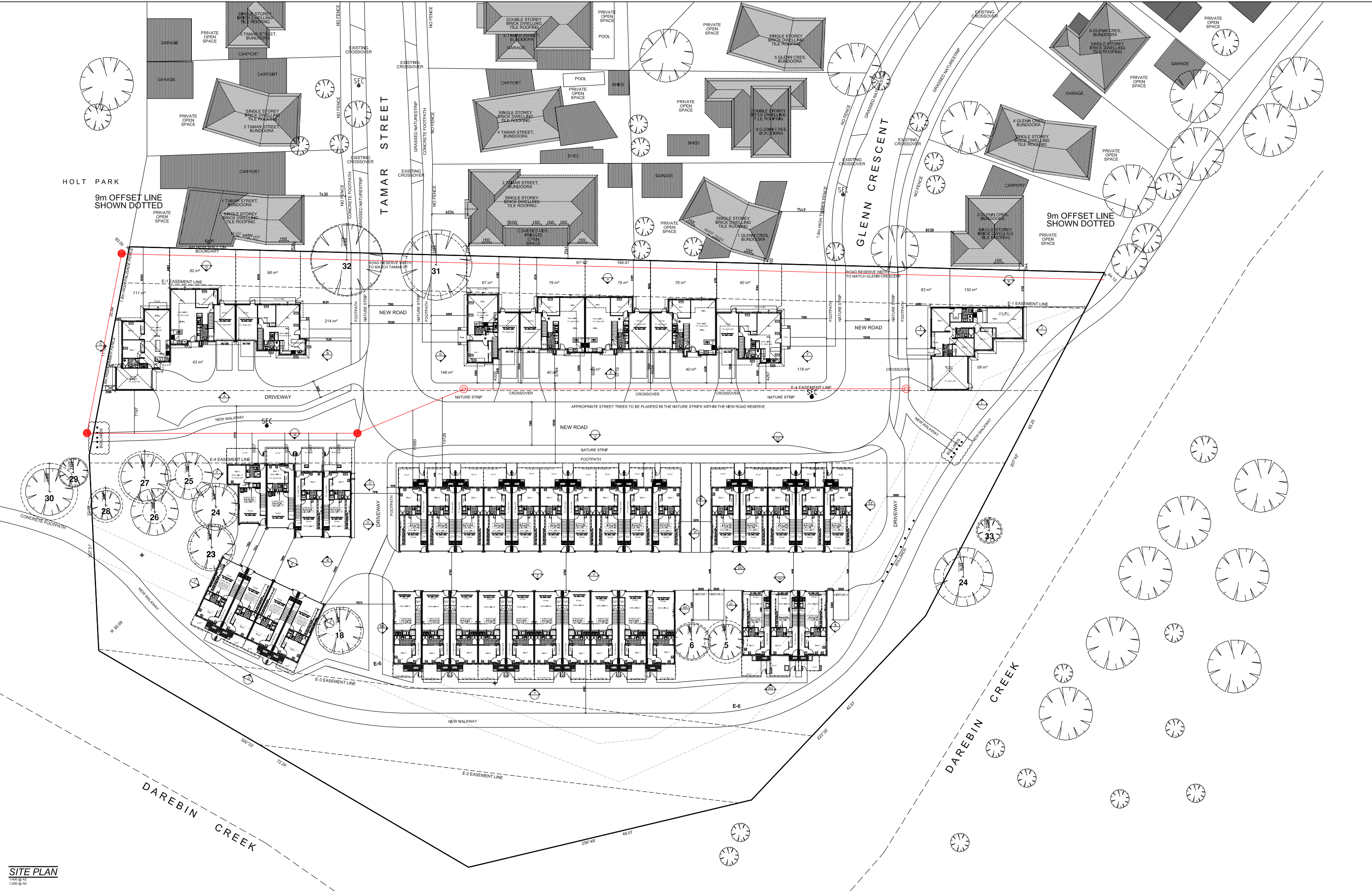
REVISION
WD-4

DATE	February 2021
DRAWN	
SCALE	1:100 (A1) 1:200 (A3)
PAGE NO.	A23
JOB NO.	T-0333

NO.	DATE.	AMENDMENTS

HOLT PARK
9m OFFSET LINE SHOWN DOTTED

9m OFFSET LINE SHOWN DOTTED

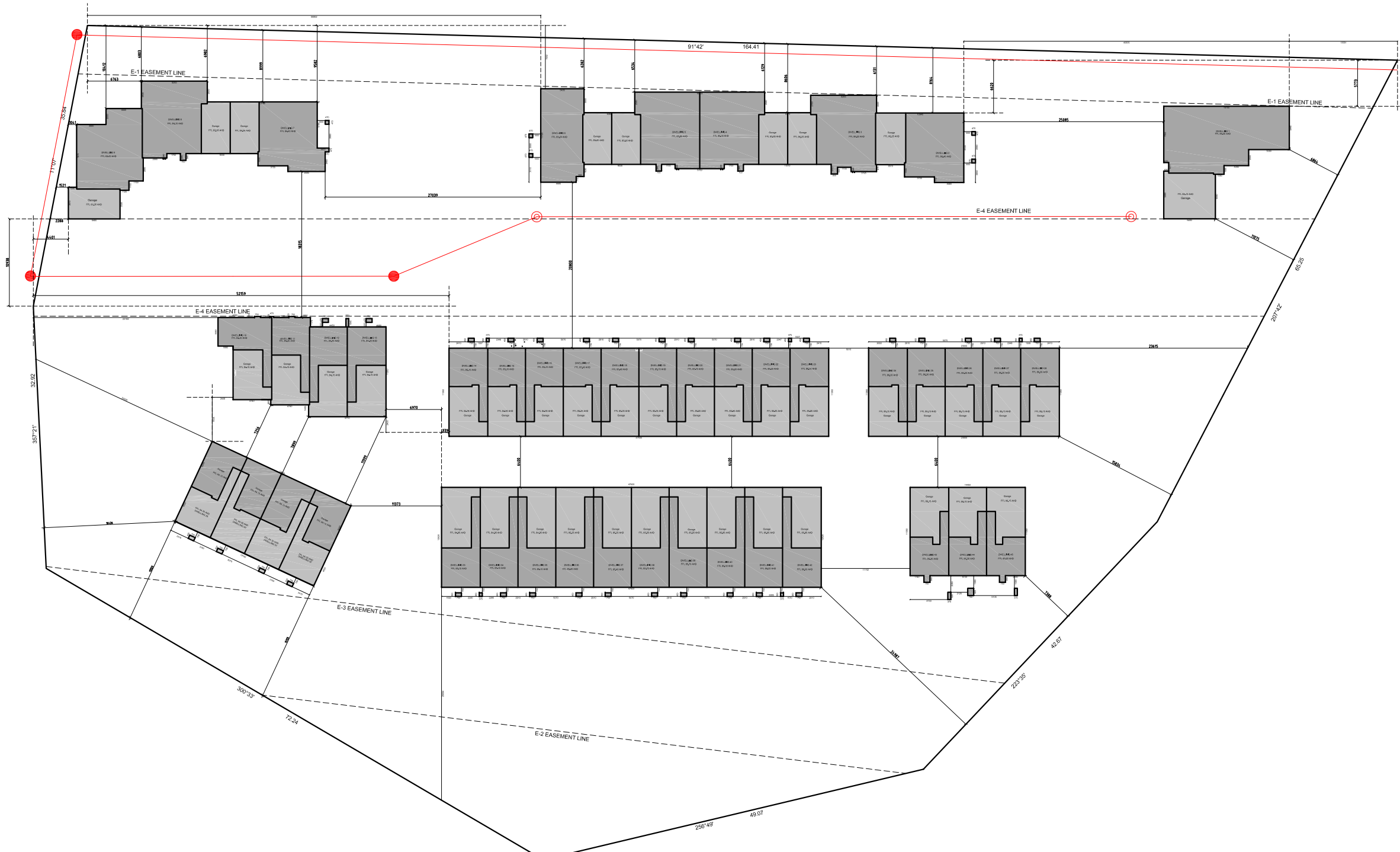


SITE PLAN
1:400 @ A2
1:500 @ A0

CLIENT DETAILS: SENOL GROUP PTY LTD
JOB NUMBER: T-0333
SITE ADDRESS: 1A Tamar Street, Bundoora
DRAWING: Site Plan
APPLICATION: Town Planning
DATE: February 2021

PAGE NUMBER: A24
SCALE: 1:200 (A0)
NORTH POINT:
REVISION: WD-4
AMENDMENTS:

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SET OUT PLAN

1:400 @ A2
1:200 @ A0



CLIENT DETAILS : SENOL GROUP PTY LTD
 JOB NUMBER : T-0333
 SITE ADDRESS : 1A Tamar Street, Bundora
 DRAWING : Set out Plan
 APPLICATION : Town Planning
 DATE : February 2021

PAGE NUMBER : A25
 SCALE : 1:200 (A0)
 NORTH POINT 
 REVISION : WD-4
 AMENDMENTS

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